

Planning Committee

9 October 2024



Agenda Item 3h

Planning Committee 9 October 2024 Applications Presentations



**Planning Committee
App No 24/10595**
Land north of Station Road,
Fordingbridge
SP6 1JW
Schedule 3a

3 3a 24/10595

**Planning Committee
App No 24/10494**
Platinum Business Park,
Hopclover Way
Ringwood
Schedule 3b

29 3b 24/10494

**Planning Committee
App No 24/10409**
Sunning,
Mopley,
Fawley
Schedule 3c

37 3c 24/10409

**Planning Committee
App No 24/10526**
20 Northfield Road,
Ringwood
BH24 1LU
Schedule 3d

48 3d 24/10526

**Planning Committee
App No 24/10627**
Greensleeves,
Sway Road
Pennington, Lymington SO41 8LP
Schedule 3e

66 3e 24/10627

**Planning Committee
App No 23/11331**
Spraggs Cottage,
Pooks Green
Marchwood SO40 4WQ
Schedule 3f

81 3f 23/11331

**Planning Committee
App No 24/10709**
The Laurels
Beaulieu Road
Dibden Purlieu, Hythe
Schedule 3i

99 3g 24/10709

Planning Committee

App No 24/10595

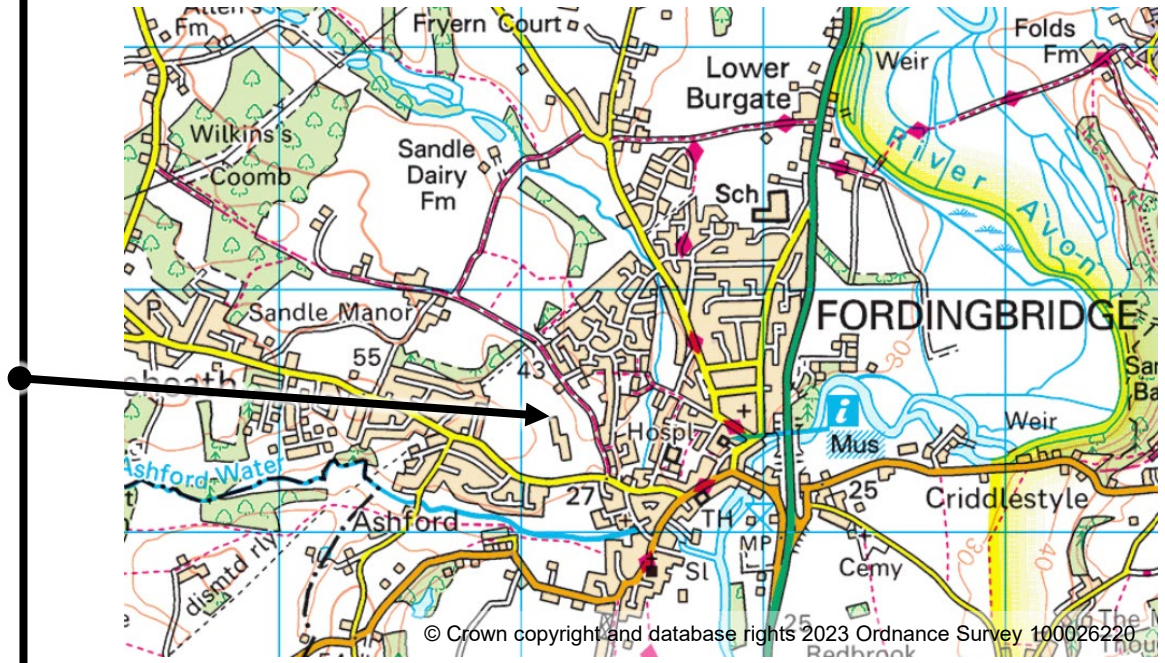
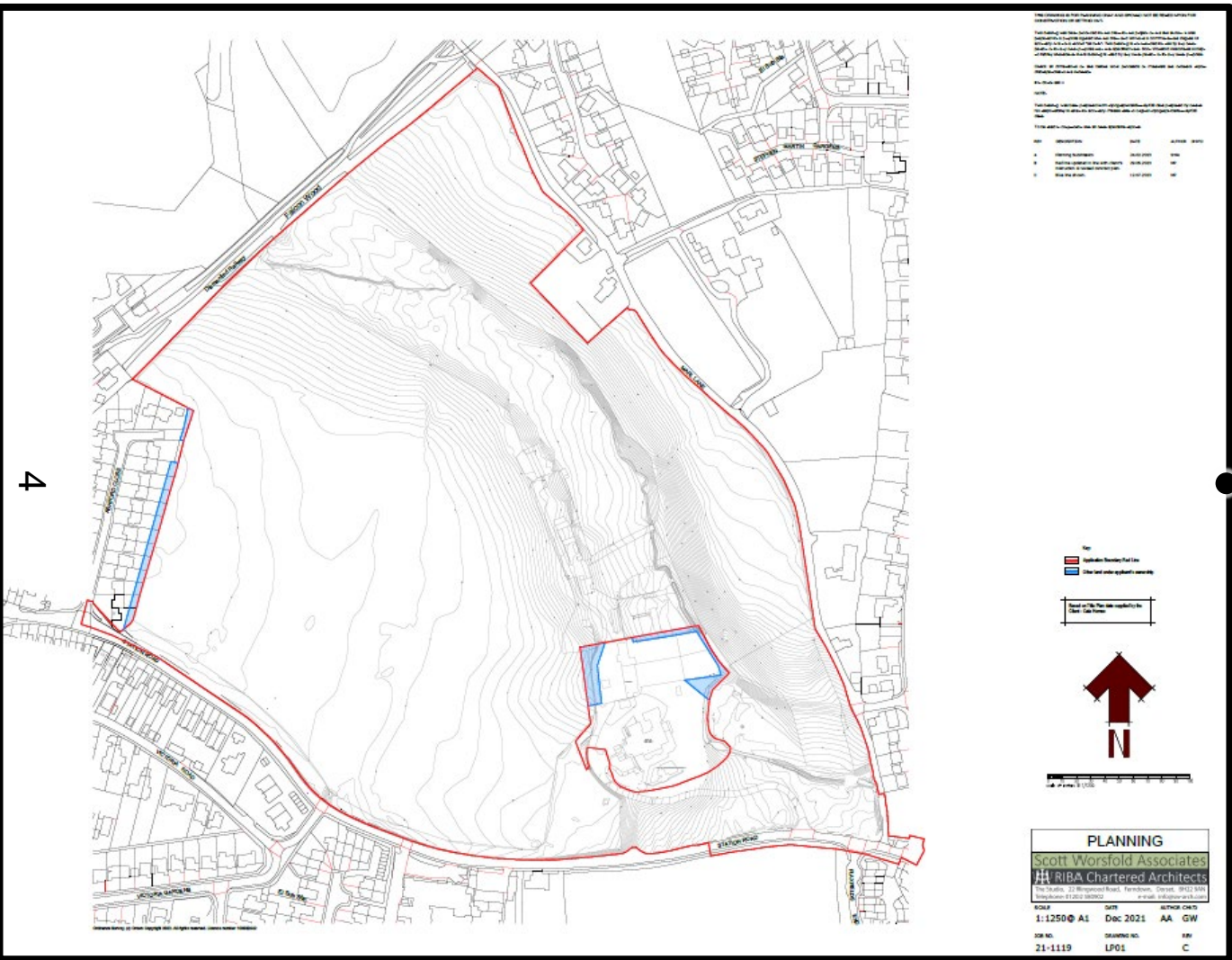
Land north of Station Road,

Fordingbridge

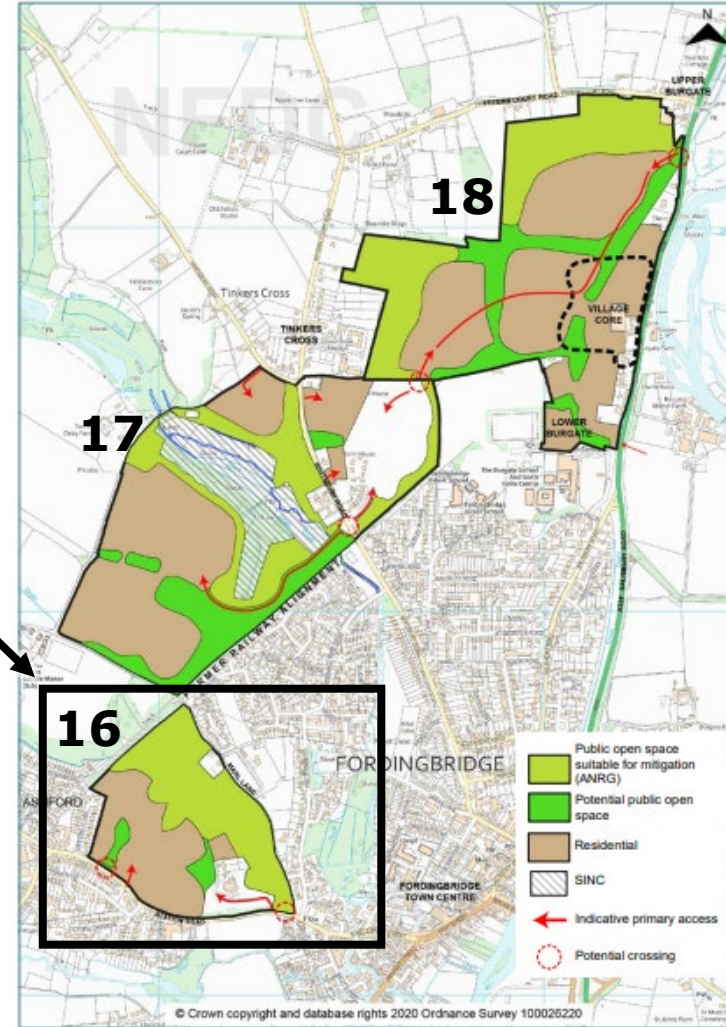
SP6 1JW

Schedule 3a

Red line plan and site location



Fordingbridge Local Plan Strategic Sites



5

Aerial photograph and local context

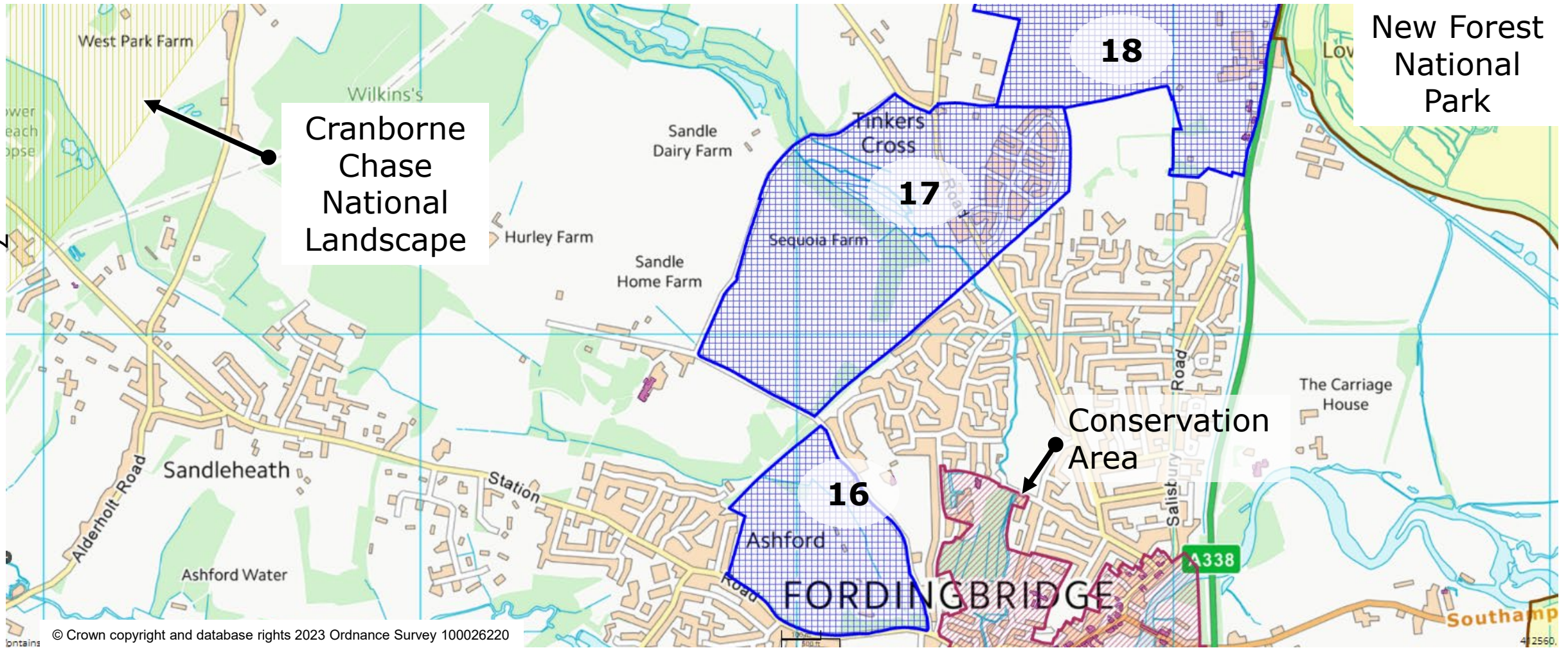


© Getmapping Plc and Bluesky International Limited 2023



9

Strategic sites, designated landscapes and Conservation Area

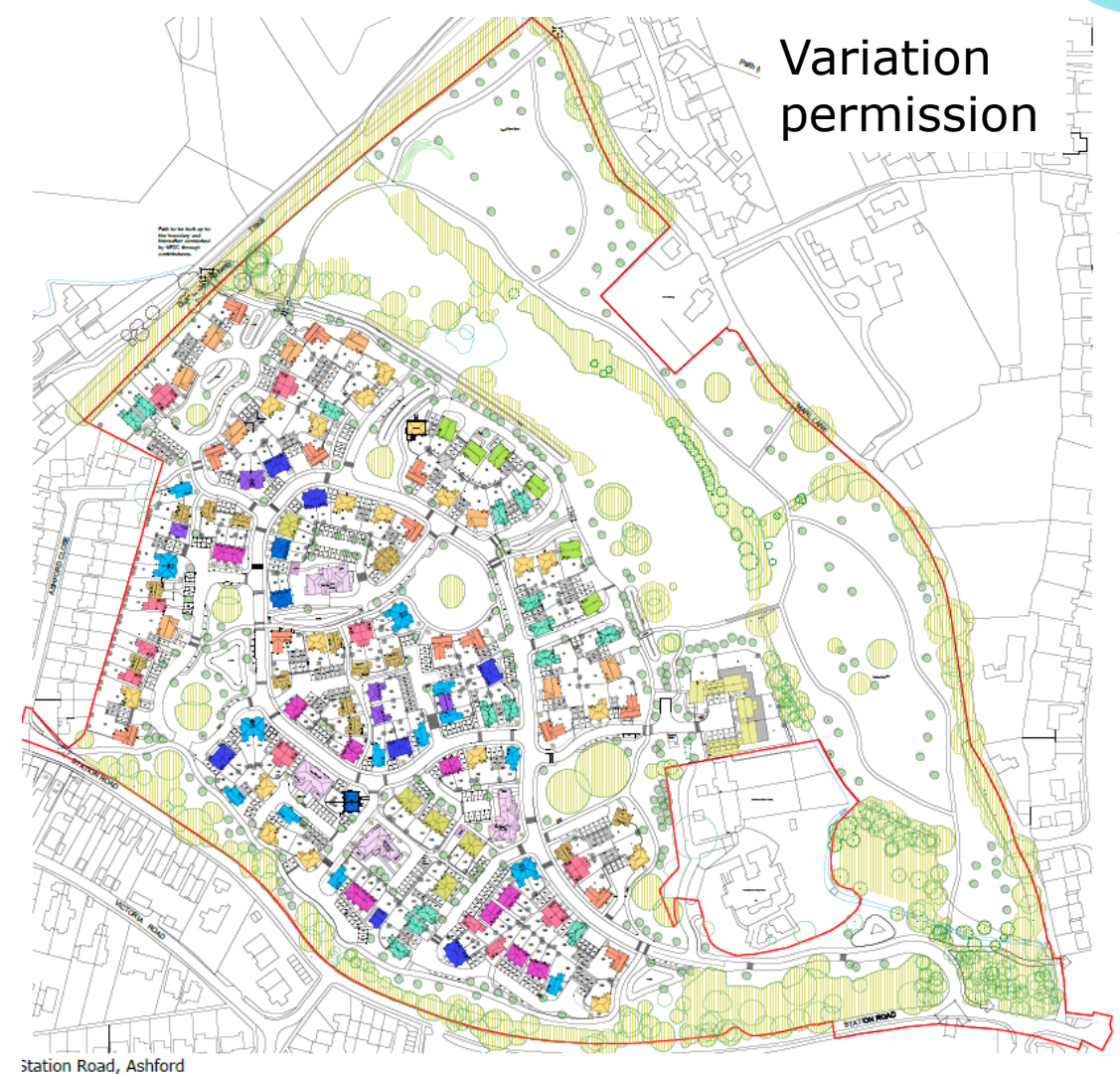


Site Layout Plan



LEGEND

	HT-02
	HT-03
	HT-05
	HT-06
	HT-07
	HT-08
	HT-09
	HT-12
	HT-13
	HT-14
	HT-15
	HT-16
	HT-17
	HT-18



Ashford Close impact



6
Original
permission



Variation
permission



Parking plan as proposed



Parking plan	Earlier Approval	Proposed
Garage	73	89
Carbarn	41	31
Visitor Spaces	40	43
Flats	31	31
Surface Spaces	298	312
Total	483	506

- Key:
- Application Red Line
 - Boundary treatment is shown indicative.. Please refer to Landscape architect boundary treatment layout.
 - Proposed trees
 - Existing trees to be retained
 - Proposed hedgerows
 - Proposed planting mix
 - Bin collection point

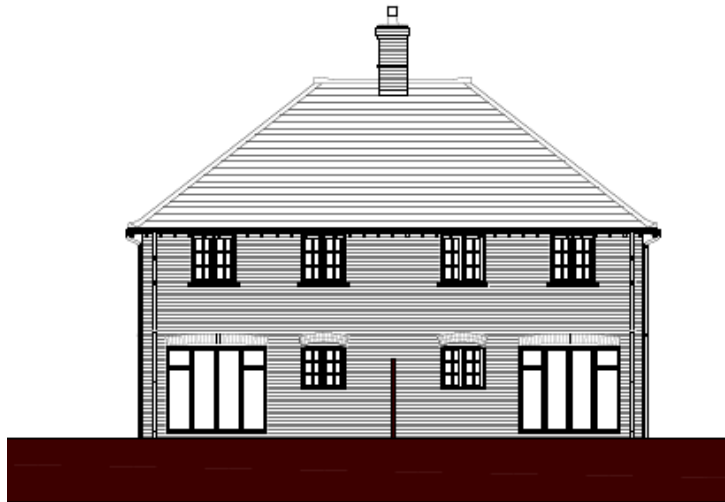
House type comparison – plots 19/58



Approved



Proposed



Rear Elevation



3a 24/10595

House type comparison plot 22



12



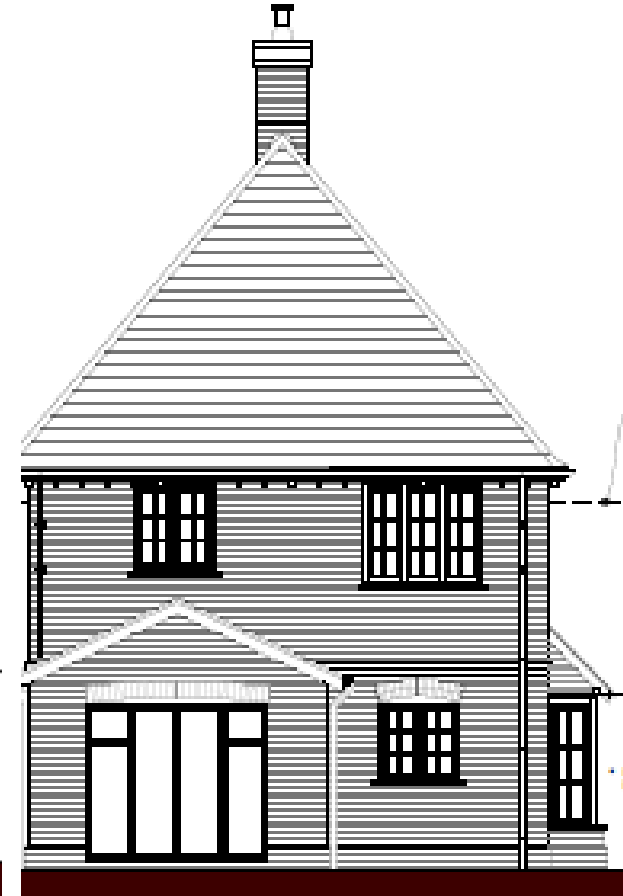
Approved



3a 24/10595



Proposed



12

House type comparison plot 37

13



Approved

13



Proposed

3a 24/10595

House type comparison plot 40



14



Approved

14

3a 24/10595



Proposed

House type comparison plots 49-50



15



Approved

15

3a 24/10595



Proposed

House type comparison plot 51

16



Approved

16

3a 24/10595



Proposed



House type comparison plots 59/60



17



Approved pair of semis

17



Proposed pair of detached

3a 24/10595



House type comparison Plots 76 & 77

18



Approved



Proposed



Approved

Rear elevation

Plot 76

Plot 77



Proposed

Rear elevation

Plot 76

Plot 77

House type comparison plots 119/120



19



Approved

19

3a 24/10595



Proposed

House type comparison plots 126/127

20



Approved

20

3a 24/10595



Proposed

House type comparison plots 135/136



21



Approved

21

3a 24/10595



Proposed

House type comparison plot 137

22



Approved

22



Proposed

3a 24/10595



House type comparison plots 139/140



23



Approved

23

3a 24/10595



Proposed

House type comparison plot 152



24



Approved

24



Proposed

3a 24/10595

House type comparison plot 166



25



Approved

25

3a 24/10595



Proposed



Planning balance and conclusions

- Principle of development well established
- No impact on affordable housing
- No environmental issues
- No parking issues
- No adverse impact on neighbour amenities
- No adverse impact on character
- Provides a revised scheme releasing market and affordable housing
- Balance is for approval subject to conditions and terms of existing S106



Recommendation

Delegated Authority be given to the Service Manager Development Management to grant PLANNING PERMISSION Subject to

- i) The prior completion of a Section 106 Agreement Unilateral Undertaking to secure the uplift sum of £3421.00 in relation to Habitat Mitigation (Access Management and Monitoring); and
- ii) the imposition of the conditions set out in the report

End of 3a 24/10595 presentation



New Forest
DISTRICT COUNCIL

28



Planning Committee

App No 24/10494

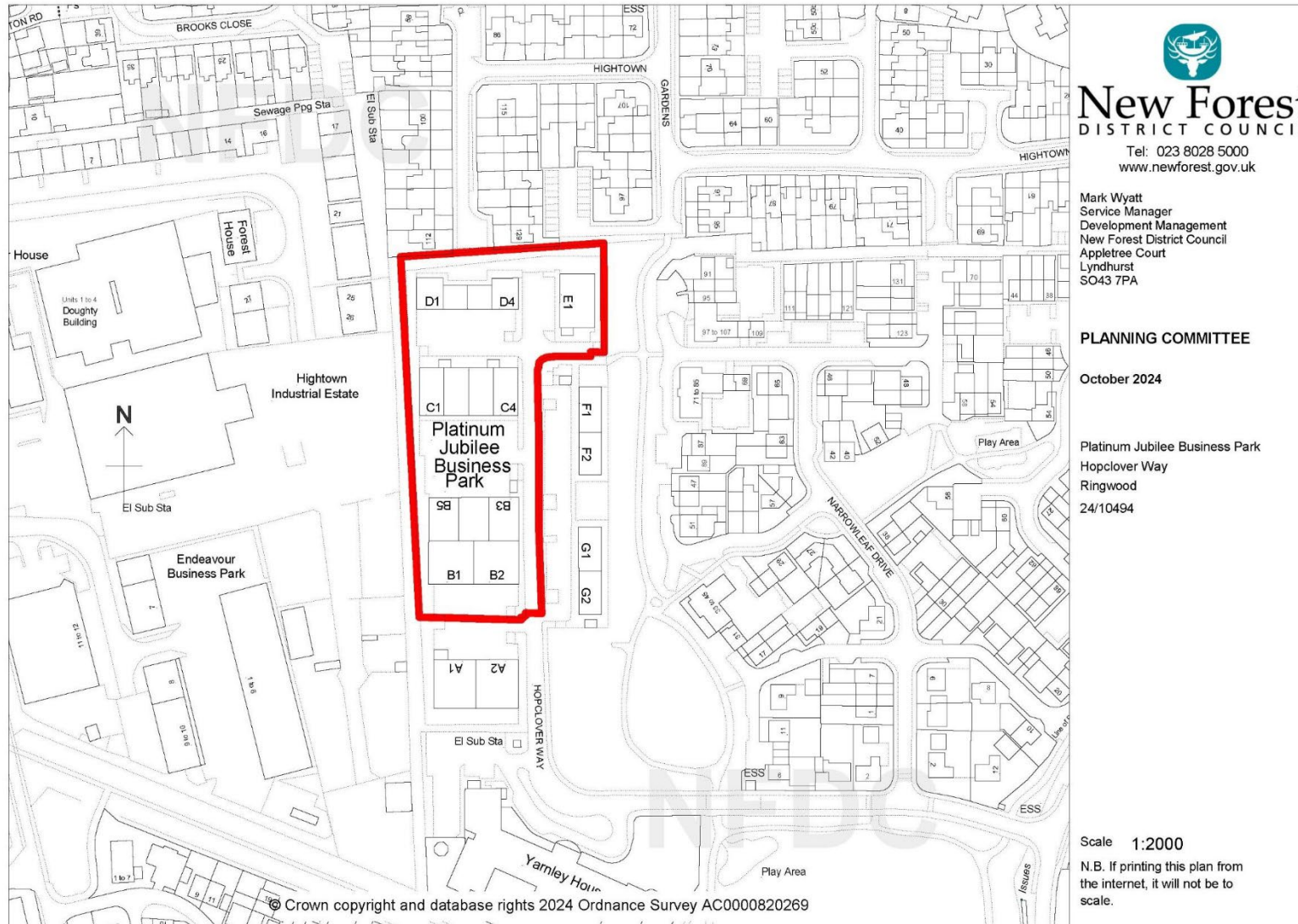
Platinum Business Park,

Hopclover Way

Ringwood

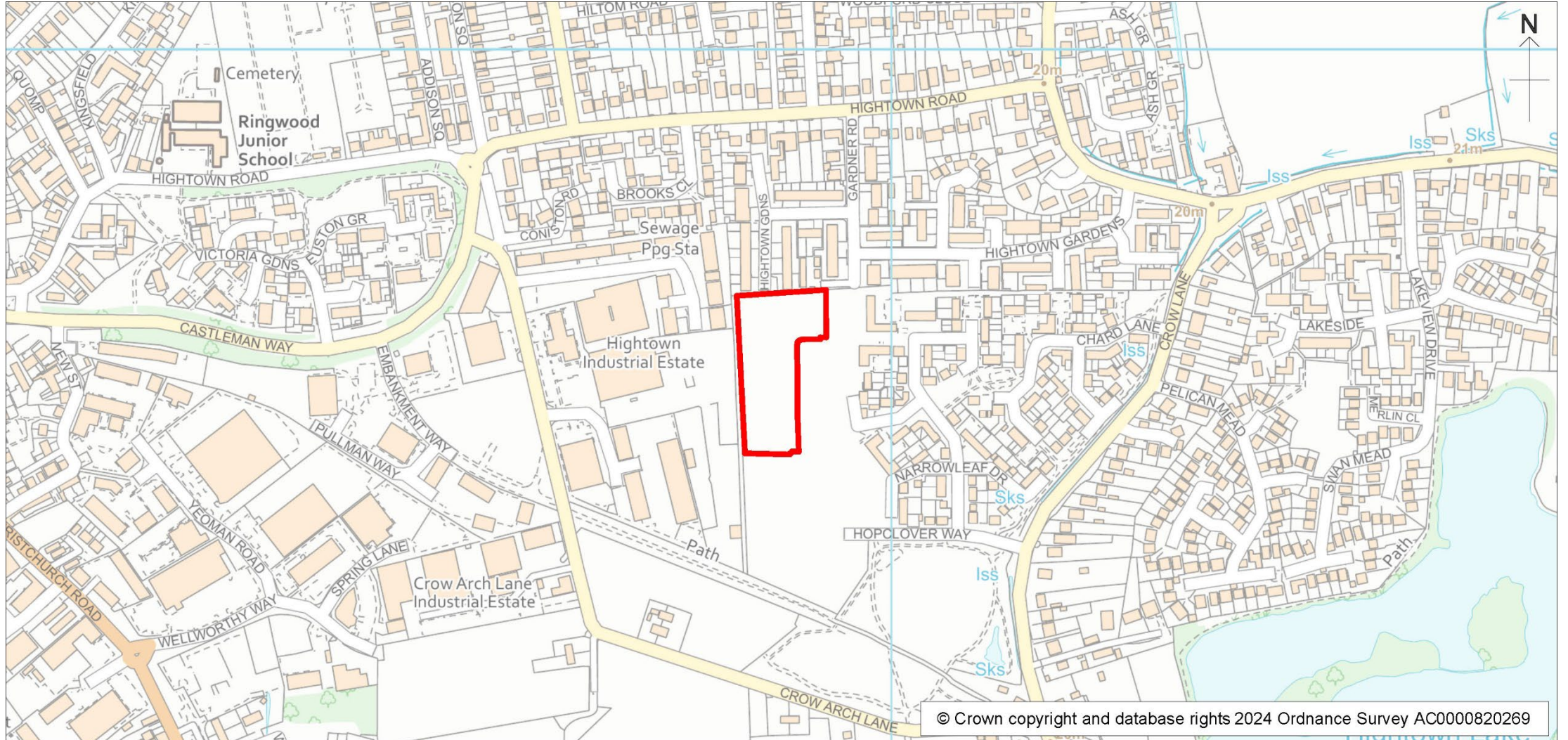
Schedule 3b

Red Line Plan



Local context

31



Aerial photograph

32

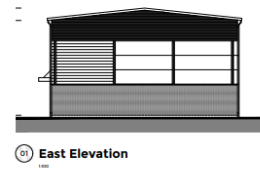


© Getmapping Plc and Bluesky International Limited 2024

Site plan and indicative elevations



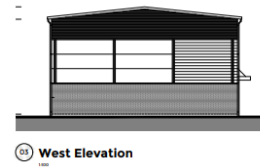
33



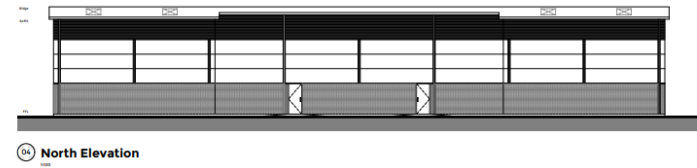
01 East Elevation



02 South Elevation



03 West Elevation



04 North Elevation

Site photographs

North into commercial units



Block F/G and residential



East to residential units



34



Block A



Care home to south

34

3b 24/10494



Recommendation

- While the failure to achieve BREEAM standard is unfortunate, for the reasons laid out in the officers report it is recommended that the application to grant relief from the condition is supported

End of 3b 24/10494 presentation



New Forest
DISTRICT COUNCIL

36



Planning Committee

App No 24/10409

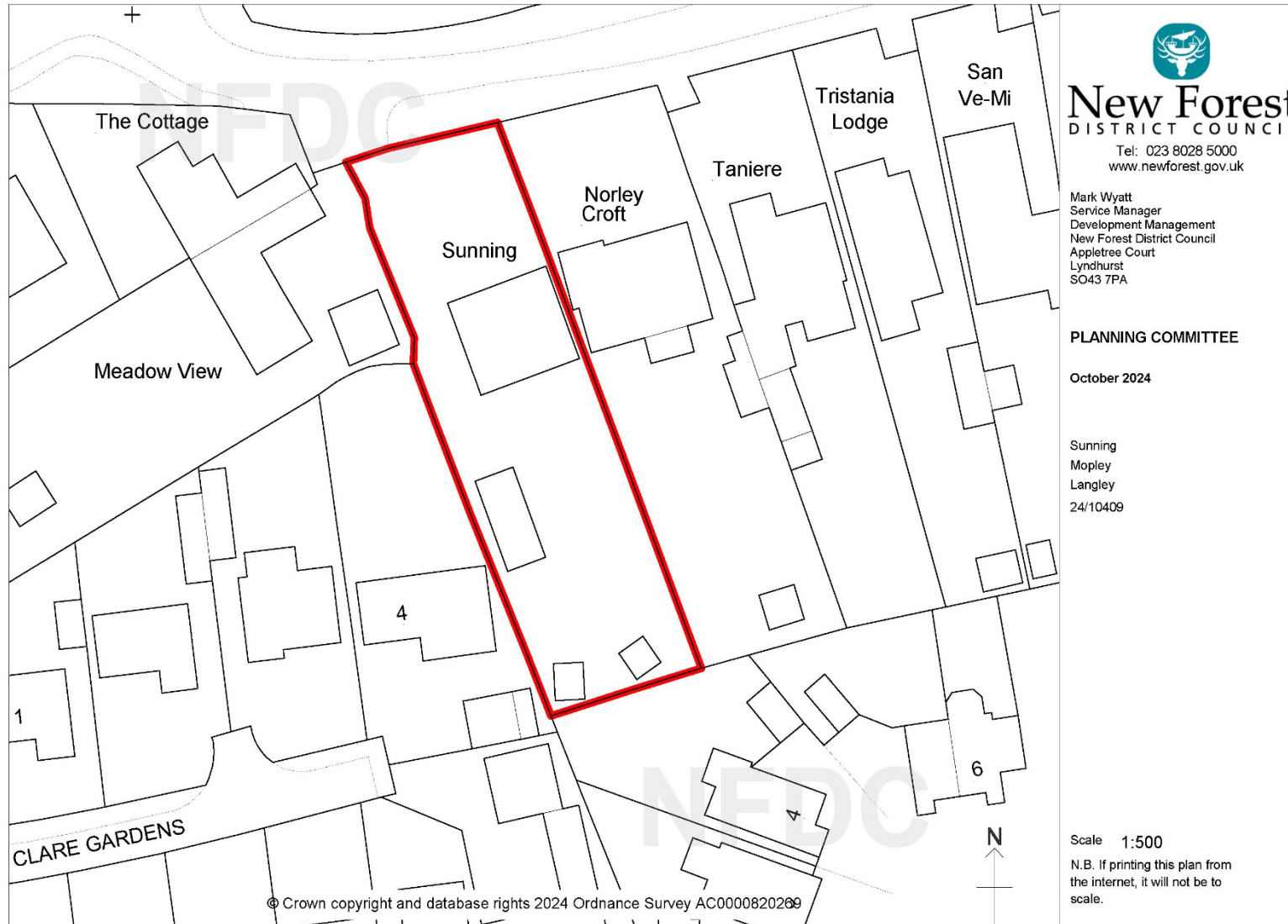
Sunning,

Mopley,

Fawley

Schedule 3c

Red Line Plan




New Forest
DISTRICT COUNCIL
Tel: 023 8028 5000
www.newforest.gov.uk

Mark Wyatt
Service Manager
Development Management
New Forest District Council
Appletree Court
Lyndhurst
SO43 7PA

PLANNING COMMITTEE

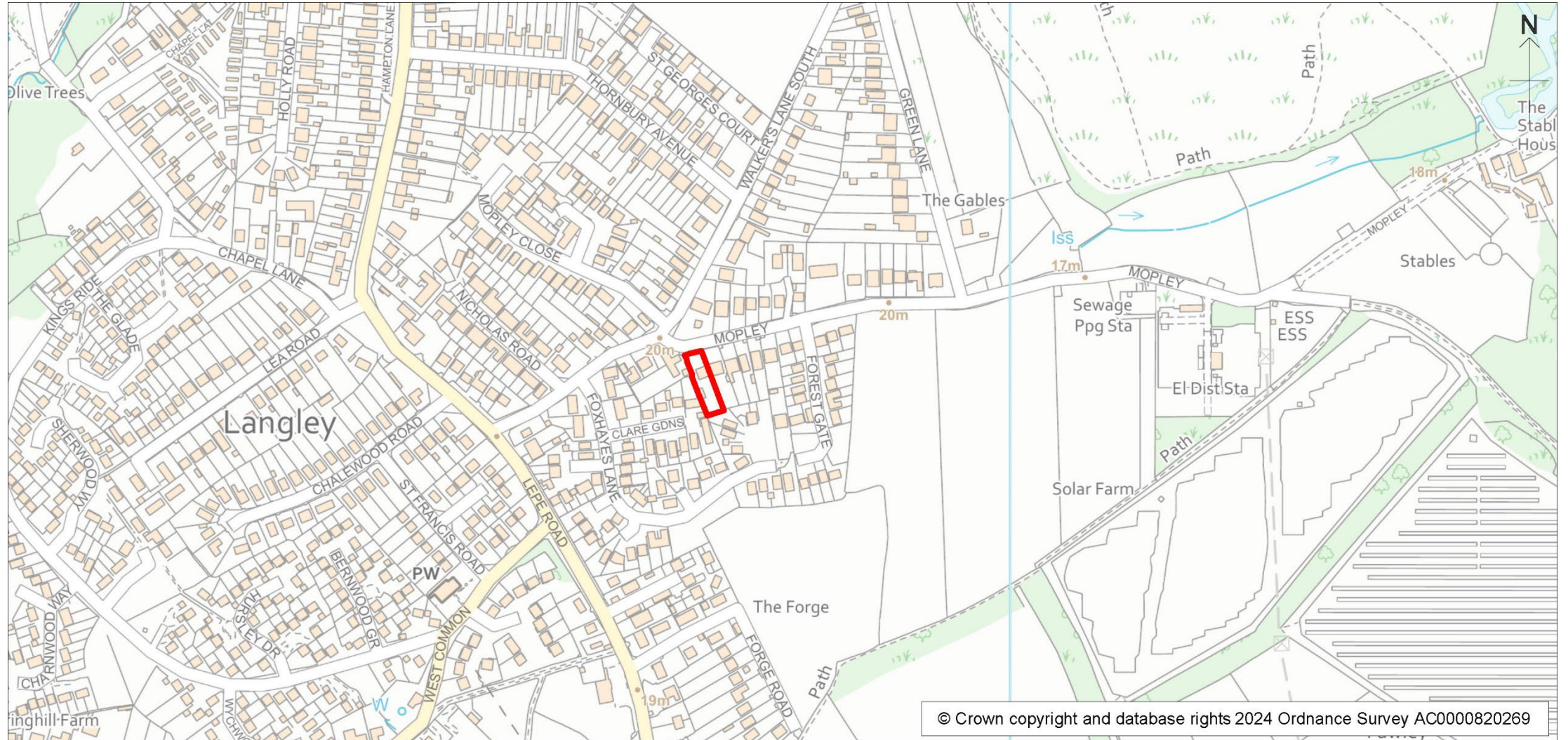
October 2024

Sunning
Mopley
Langley
24/10409

Scale 1:500
N.B. If printing this plan from
the internet, it will not be to
scale.

Local context

39



39

3c 24/10409

Aerial photograph



40

© Getmapping Plc and Bluesky International Limited 2024

40

3c 24/10409

Existing dwelling – floor plans and elevations



41

Front View
Scale 1:100

Side View
Scale 1:100

Rear View
Scale 1:100

Side View
Scale 1:100

Ground Floor Plan
Scale 1:100

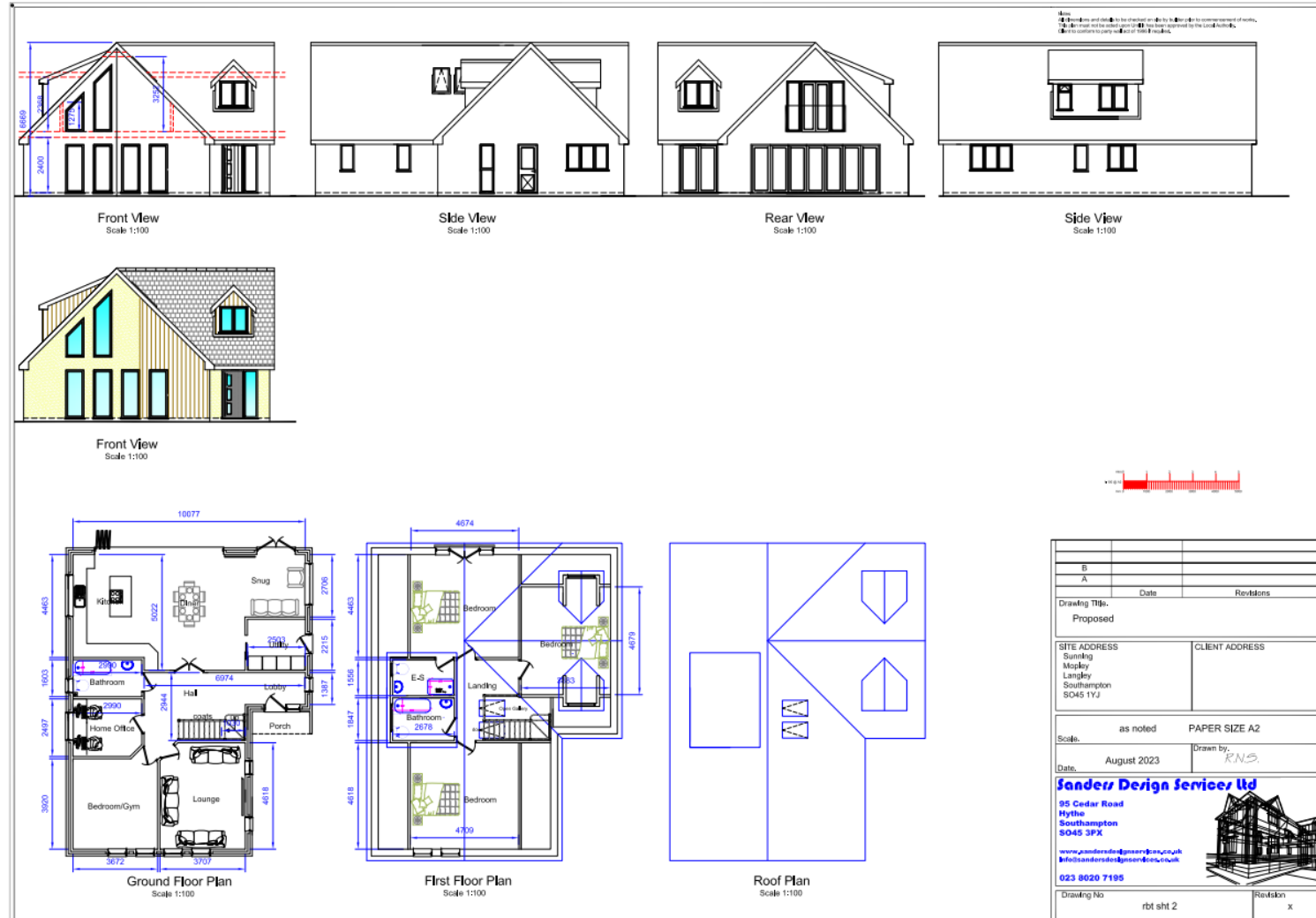
Roof Plan
Scale 1:100

B		
A		
	Date	Revisions
Drawing Title: Existing		
SITE ADDRESS Sunning Mapley Langley Southampton SO45 1YJ		CLIENT ADDRESS
Scale: as noted	PAPER SIZE A2	
Date: May 2023	Drawn by: <i>RNS</i>	
Sanders Design Services Ltd 95 Cedar Road Hythe Southampton SO45 3PX www.sandersdesignservices.co.uk info@sandersdesignservices.co.uk 023 8020 7195		
Drawing No: rbt sht 1		Revision: x

41

3c 24/10409

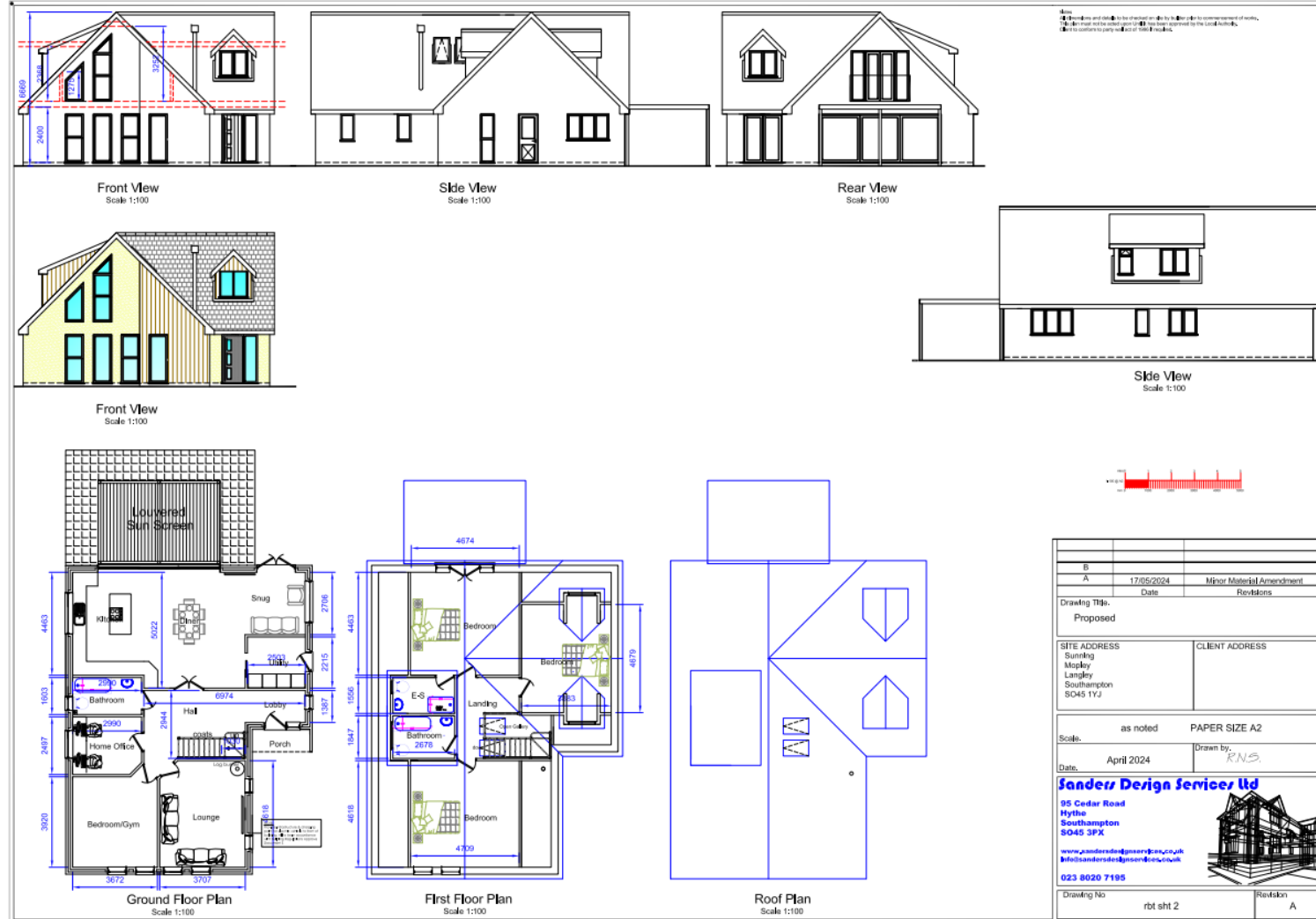
Approved replacement dwelling (23/10866)



Proposed plans (current application)



43



43

3c 24/10409

Block plan



44



Site photographs

To the east of application site



Application site



To the west of application site



45



Existing dwelling



View from rear to east

45

3c 24/10409



Recommendation

- For the reasons laid out in the officer's report, it is considered that the recommended condition are sufficient to protect the amenities of neighbouring occupiers
- On this basis the application is recommended for approval

End of 3c 24/10409 presentation



New Forest
DISTRICT COUNCIL

47



Planning Committee

App No 24/10526

20 Northfield Road,

Ringwood

BH24 1LU

Schedule 3d

Red Line Plan



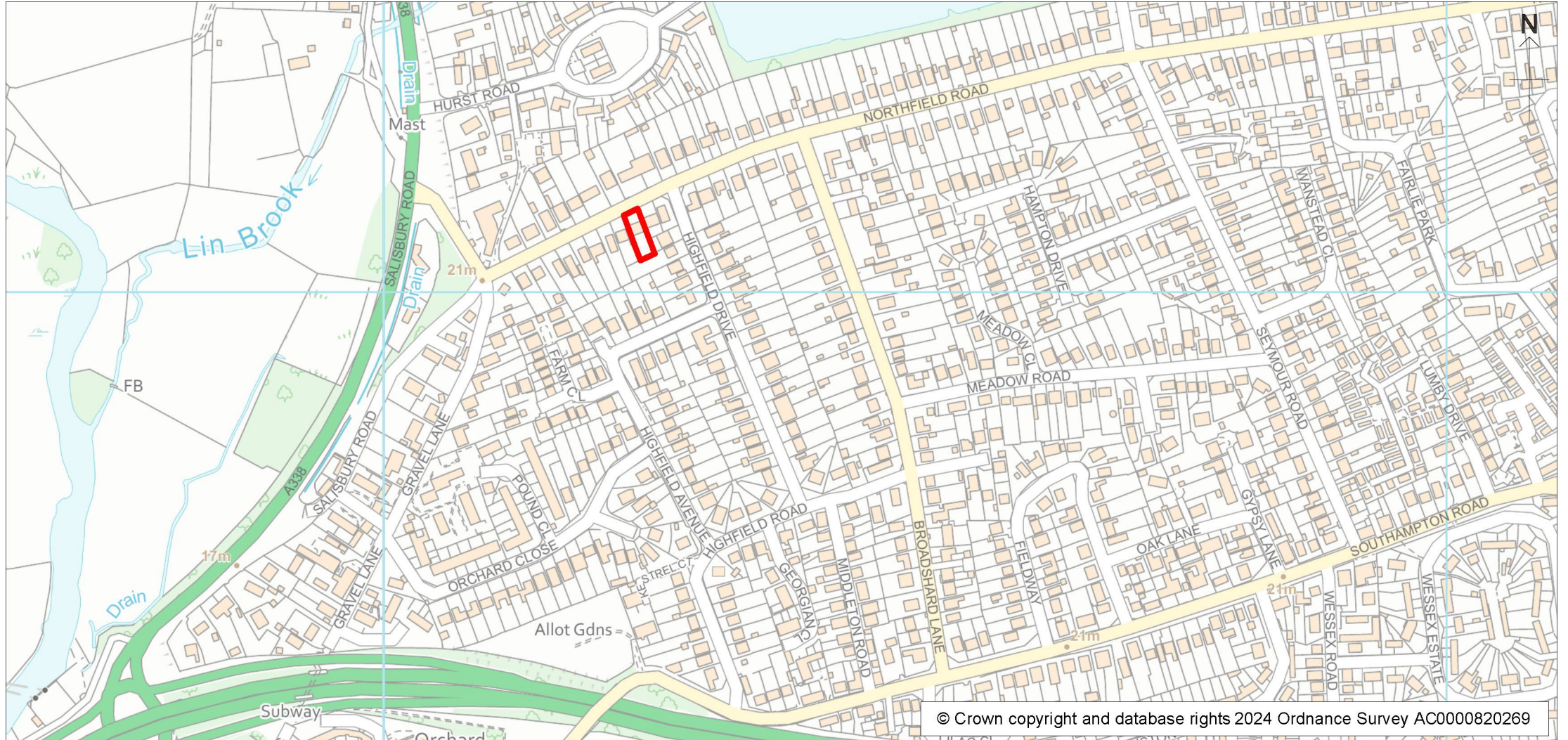
49

49

3d 24/10526

Local context

50



50

3d 24/10526

Aerial photograph



51

© Getmapping Plc and Bluesky International Limited 2024

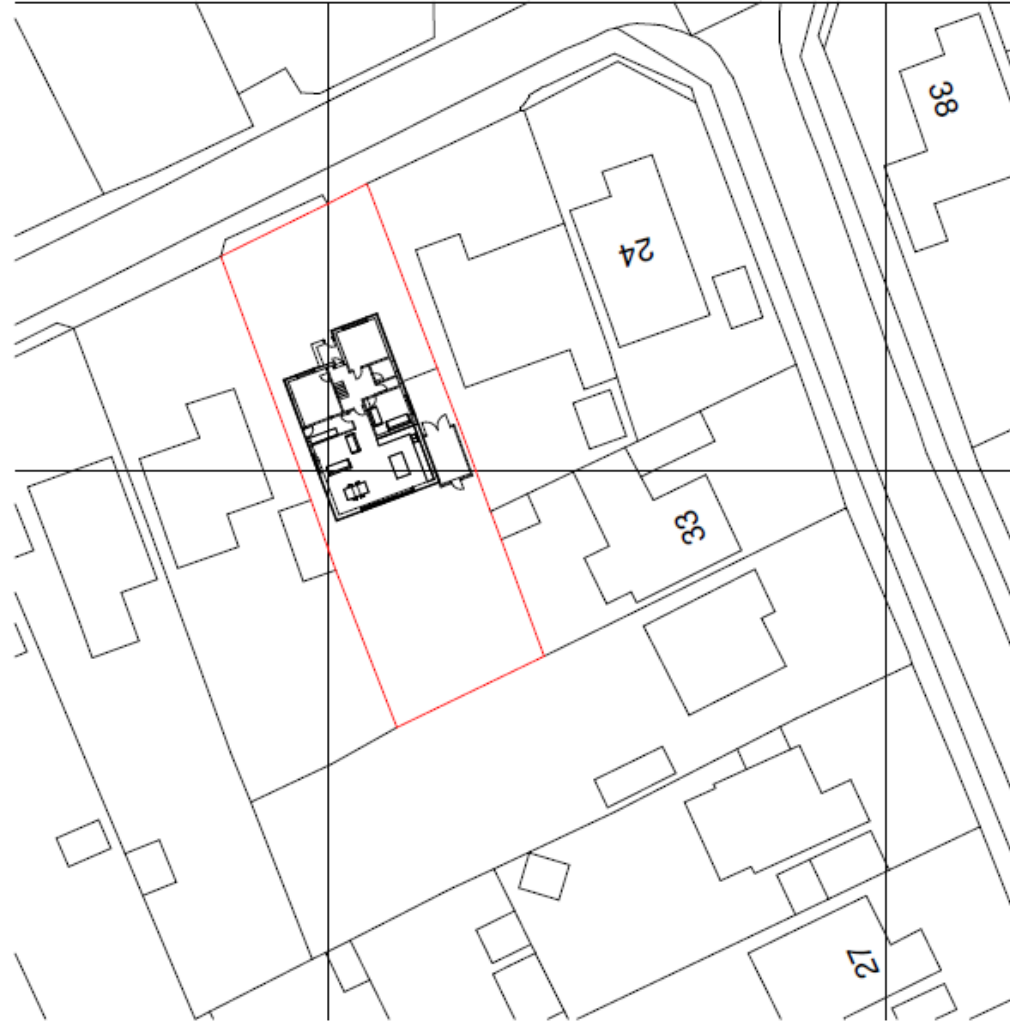
51

3d 24/10526

Block Plan



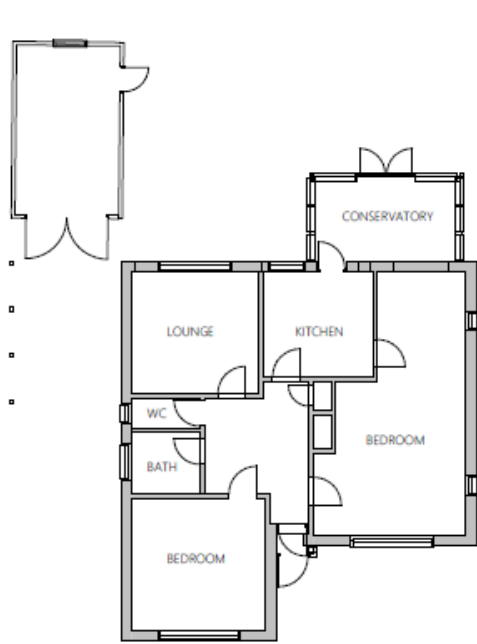
52



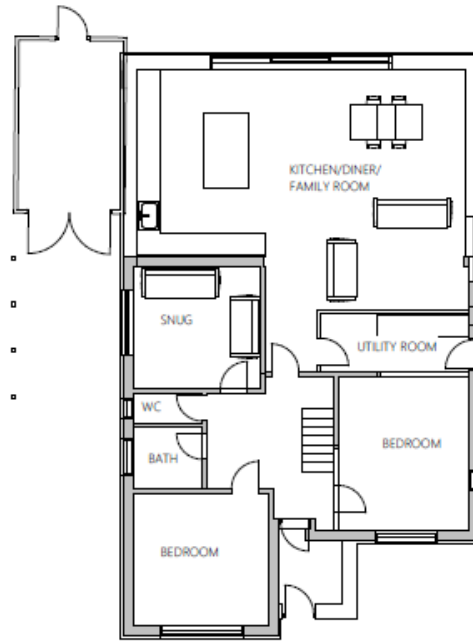
52

3d 24/10526

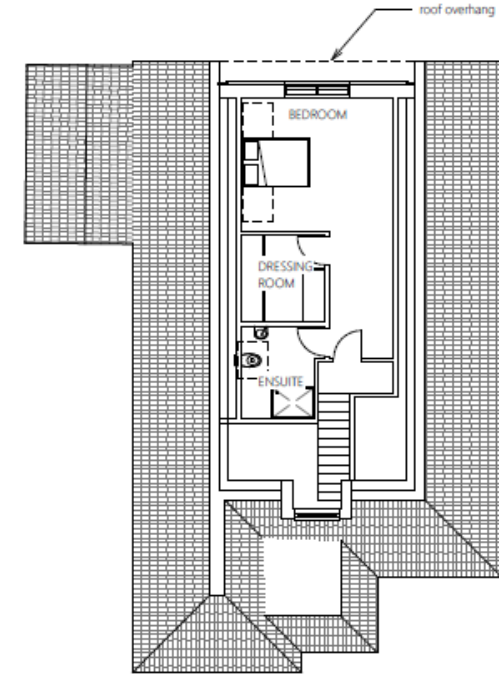
Existing and proposed floor plans



EXISTING GROUND FLOOR PLAN
Scale 1:100



PROPOSED GROUND FLOOR PLAN
Scale 1:100



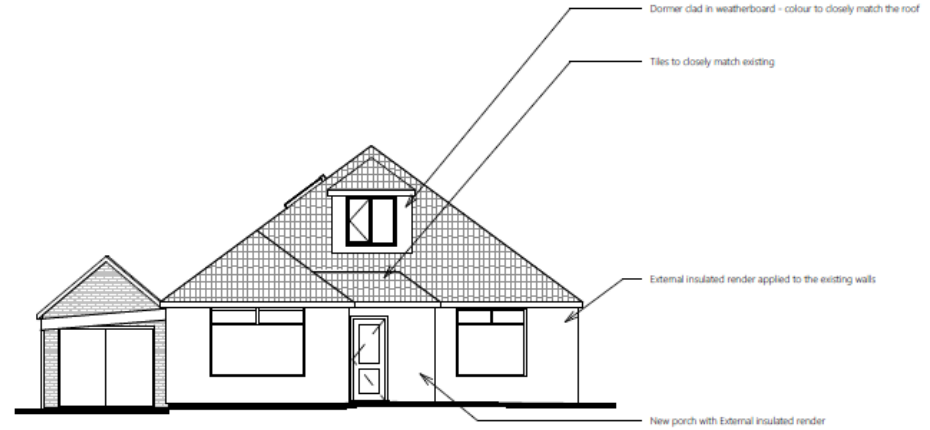
PROPOSED FIRST FLOOR PLAN
Scale 1:100

53

Existing and Proposed North and East Elevation



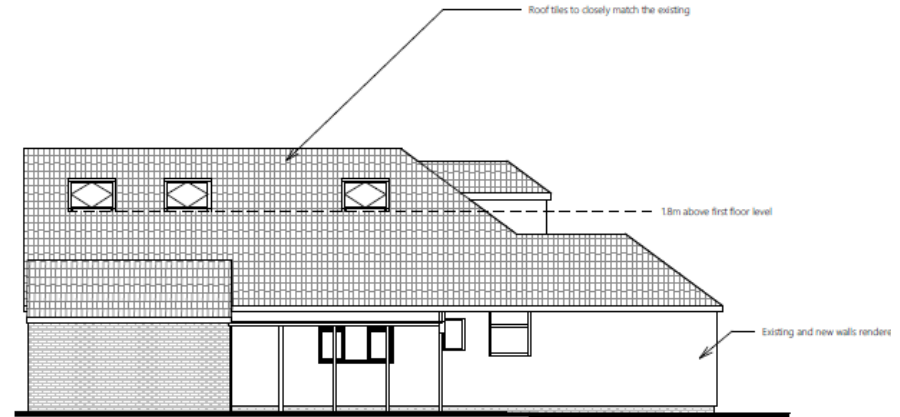
EXISTING NORTH ELEVATION
Scale 1:100



PROPOSED NORTH ELEVATION
Scale 1:100



EXISTING EAST ELEVATION
Scale 1:100



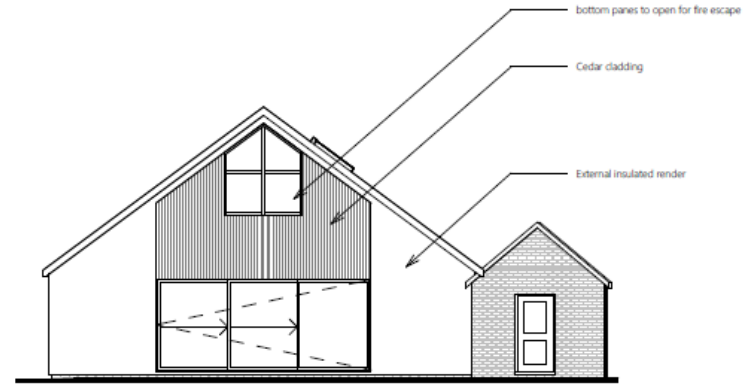
PROPOSED EAST ELEVATION
Scale 1:100



Existing and Proposed South and West Elevation



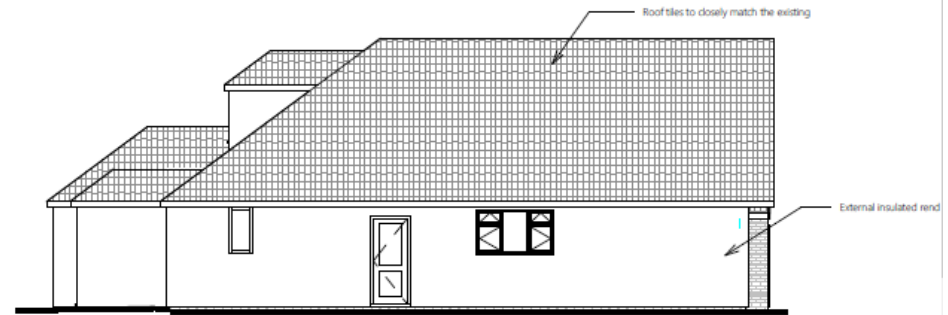
EXISTING SOUTH ELEVATION
Scale 1:100



PROPOSED SOUTH ELEVATION
Scale 1:100



EXISTING WEST ELEVATION
Scale 1:100



PROPOSED WEST ELEVATION
Scale 1:100



Street scene – arrow indicates application site



56



Wider street scene of Northfield Road



57



57

3d 24/10526

Street scene opposite application site



58



Front and rear elevation of 20 Northfield Road



59



Views from rear garden of 20 Northfield Road

18 Northfield road



22 Northfield road & 33 Highfield Drive



Rear of 33 & 31 Highfield Drive



60



Looking towards rear boundary

60

3d 24/10526

View from rear garden of 22 Northfield Road



61



18 Northfield Road



62



62

3d 24/10526

Views from 33 Highfield Drive



63

63

3d 24/10526





Recommendation

- Grant subject to conditions
- Conditions include restrictions on the proposed roof lights with regard to non-opening below 1.8m

End of 3d 24/10526 presentation



New Forest

DISTRICT COUNCIL

65



Planning Committee

App No 24/10627

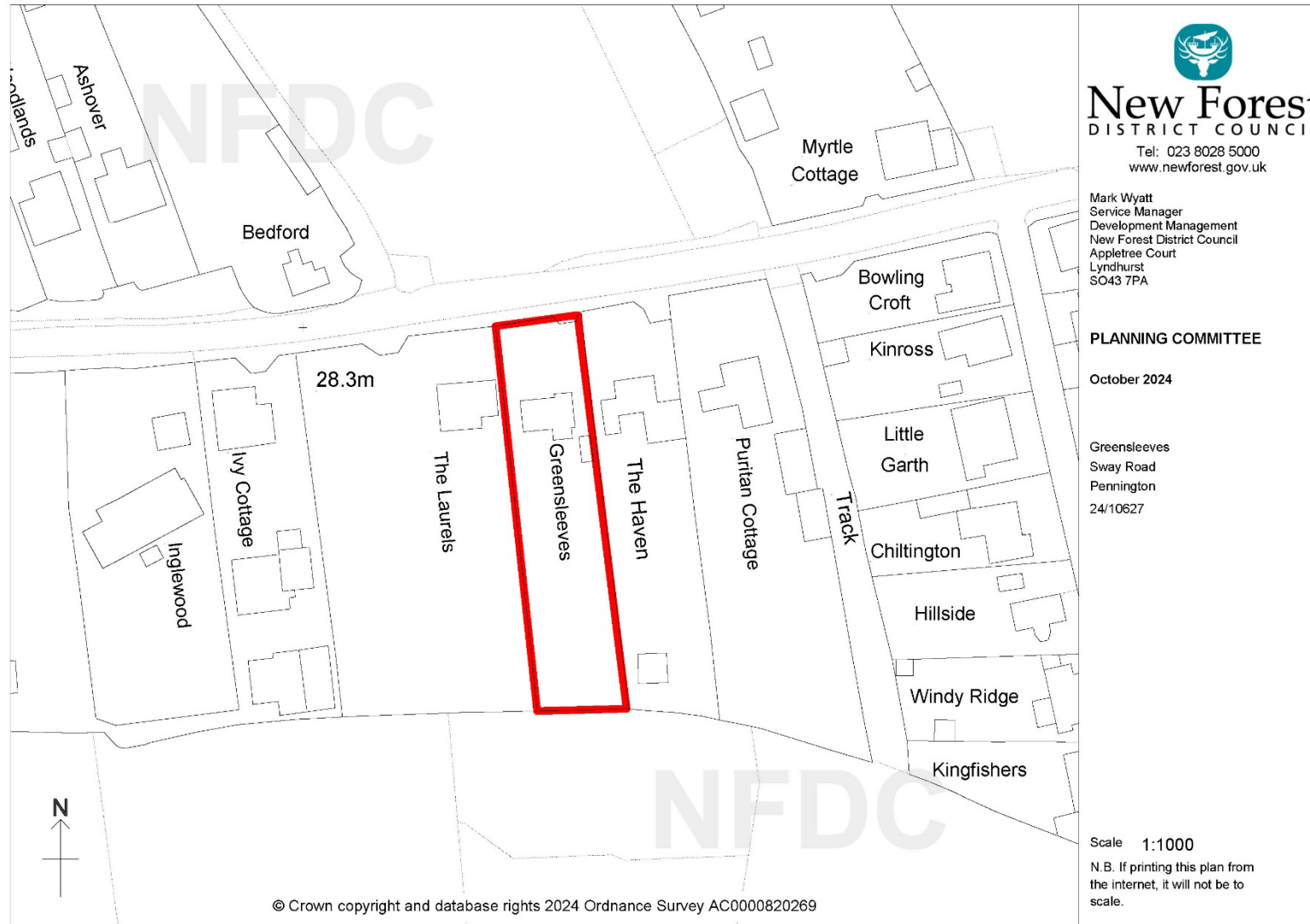
Greensleeves,

Sway Road

Pennington, Lymington SO41 8LP

Schedule 3e

Red Line Plan



Local context



Aerial photograph



69

© Getmapping Plc and Bluesky International Limited 2024

69

3e 24/10627

Constraints



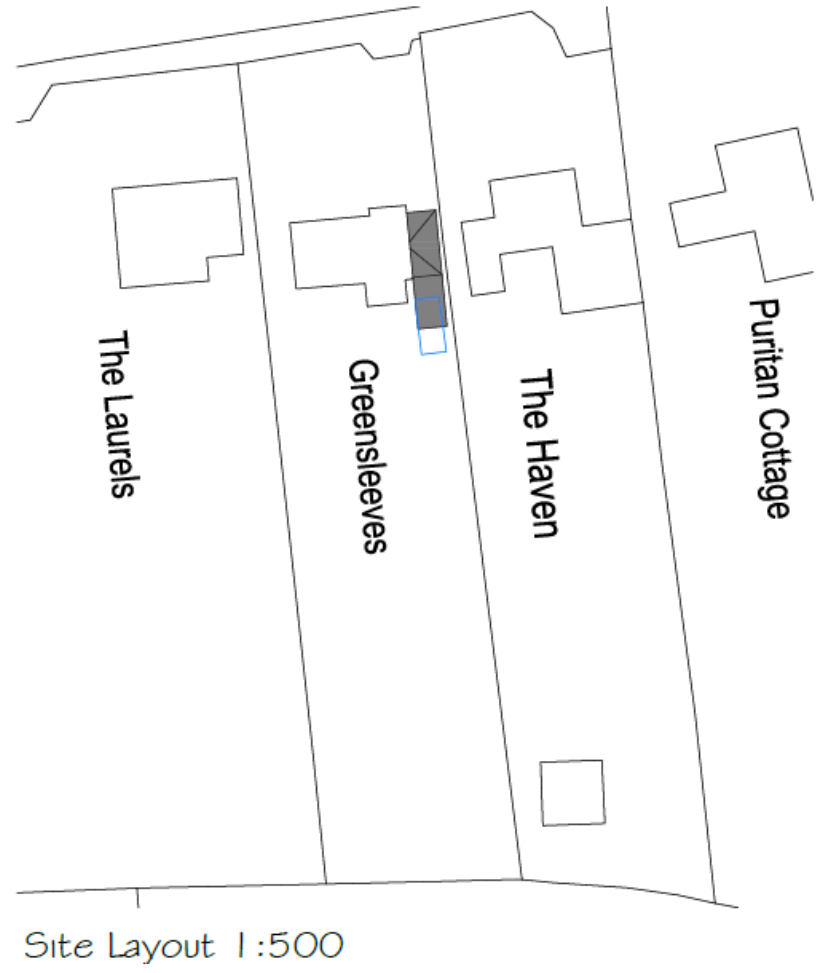
70



70

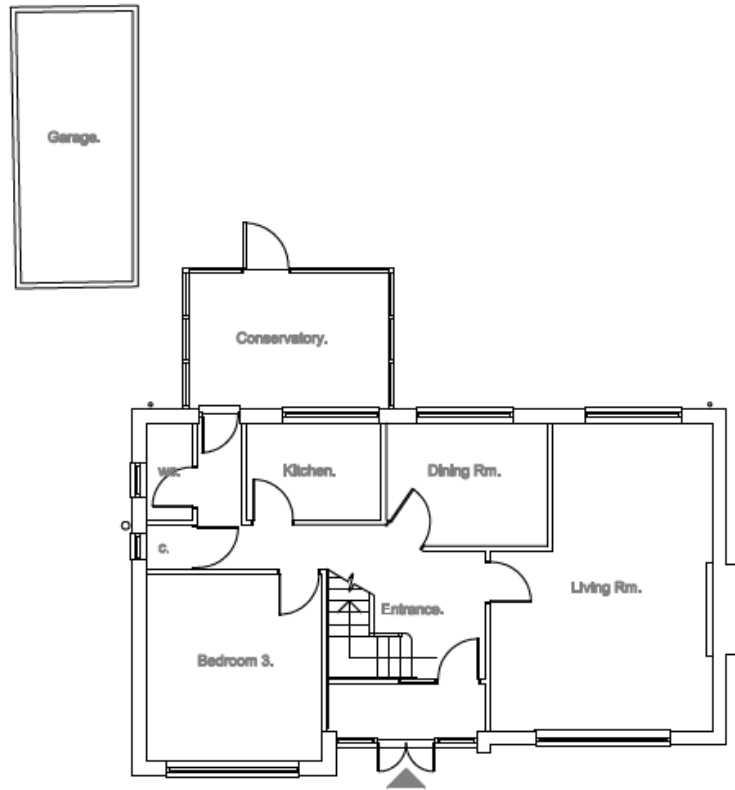
3e 24/10627

Block Plan

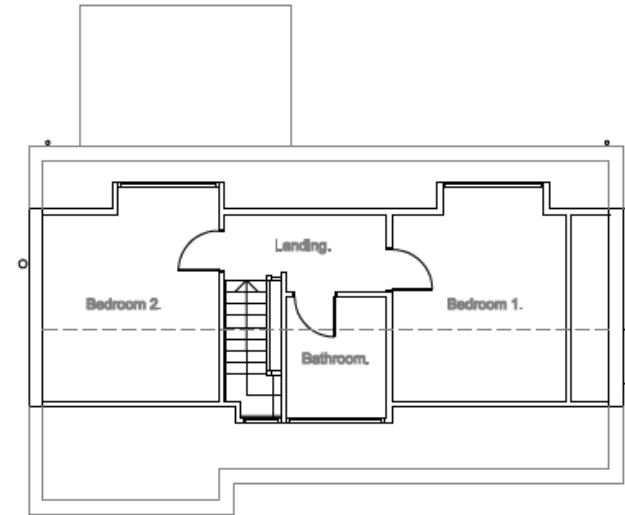




Existing Floor plans



Existing Ground Floor Plan



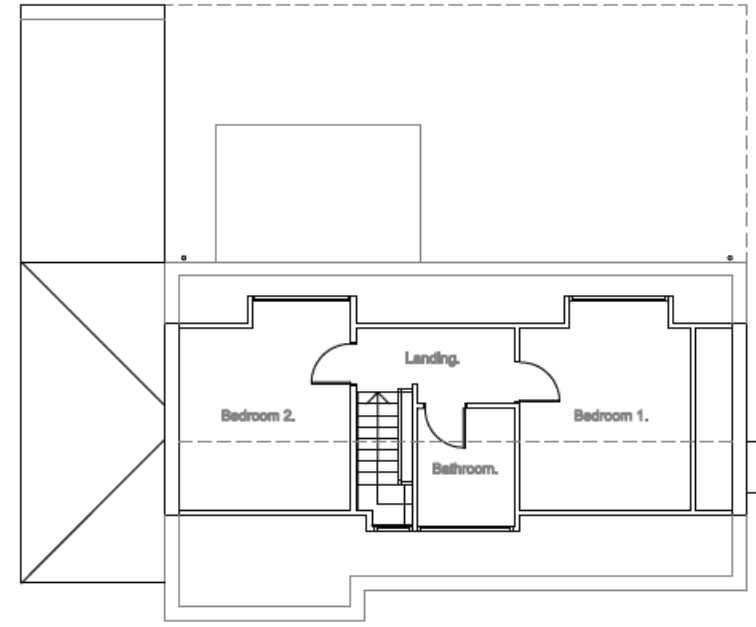
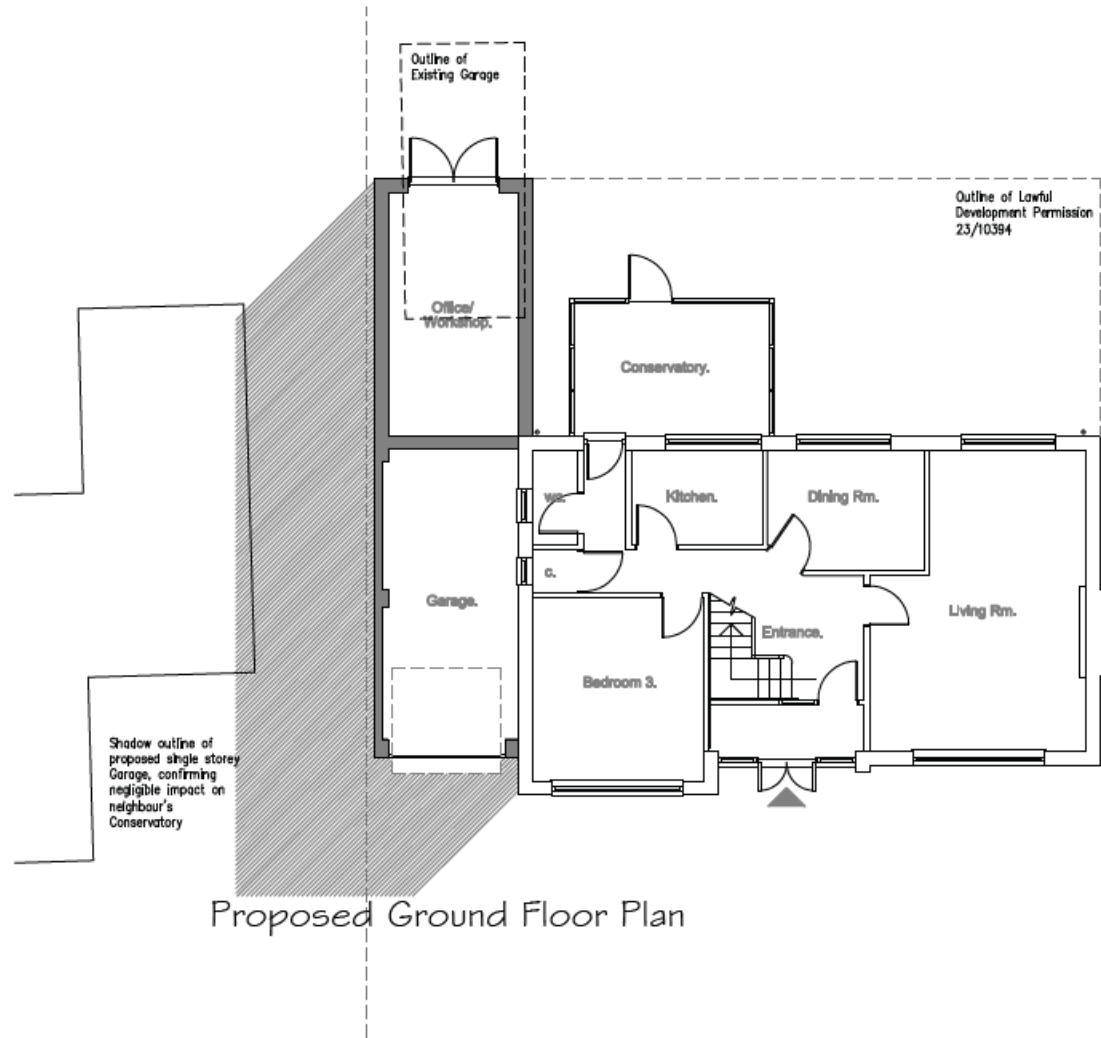
Existing First Floor Plan

Existing Elevations



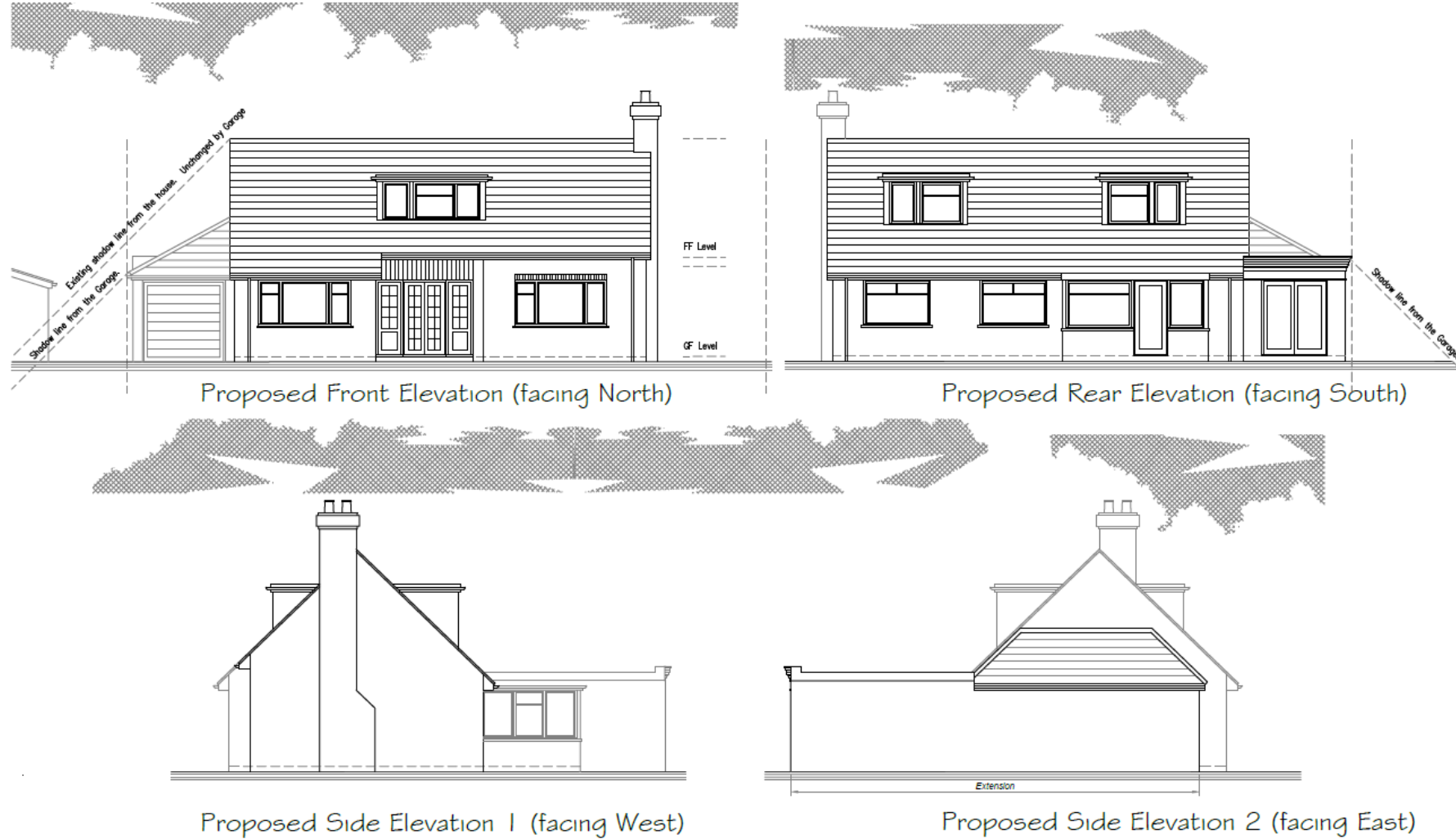
73

Proposed Floor plans



74

Proposed elevations



Front elevation of Greensleeves and side elevation of The Haven



76



View from rear garden and conservatory of The Haven



77



View across the frontage of The Laurels



78



78

3e 24/10627



Recommendation

- Grant subject to conditions

End of 3e 24/10627 presentation



New Forest

DISTRICT COUNCIL

80



Planning Committee

App No 23/11331

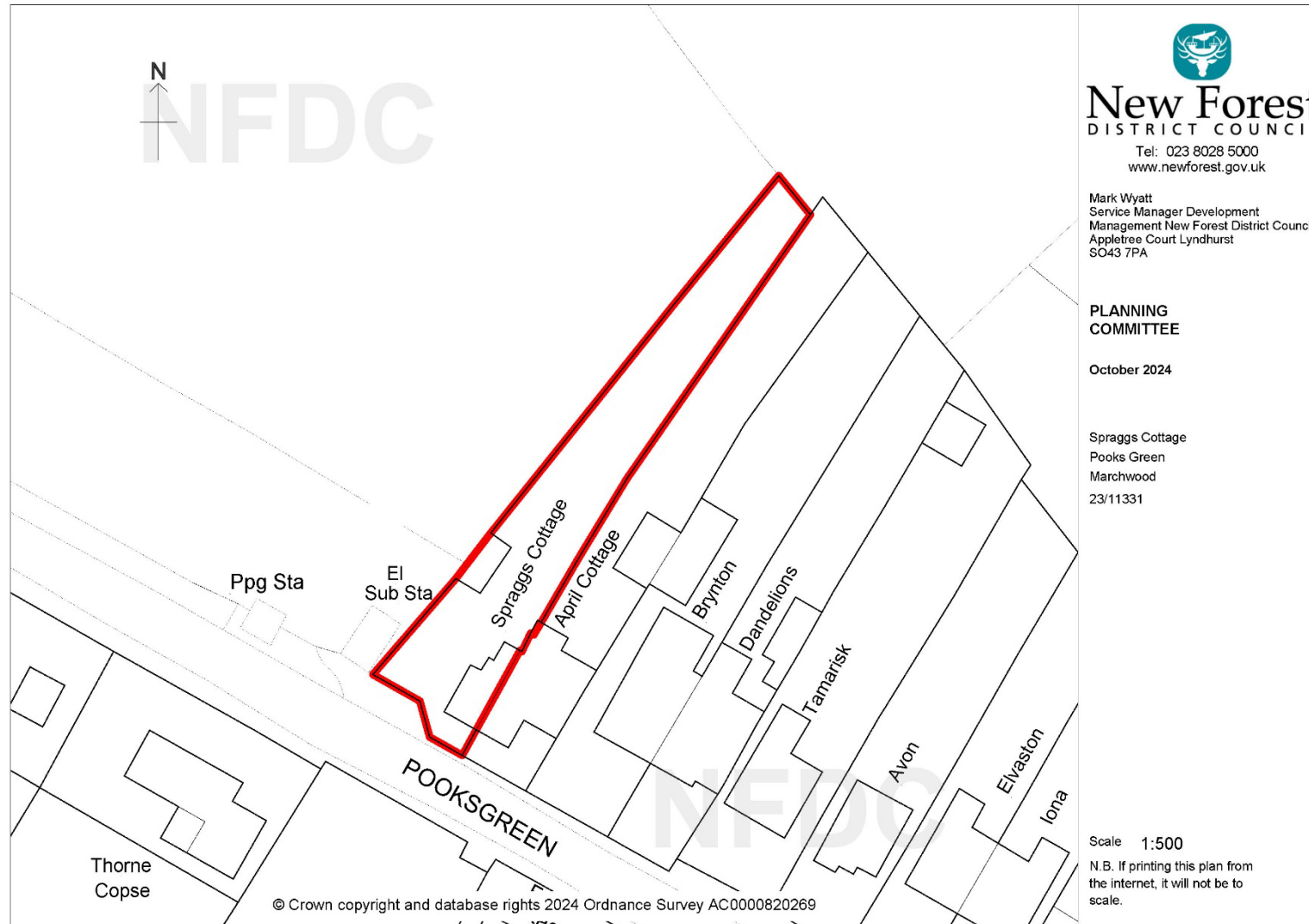
Spraggs Cottage,

Pooks Green

Marchwood SO40 4WQ

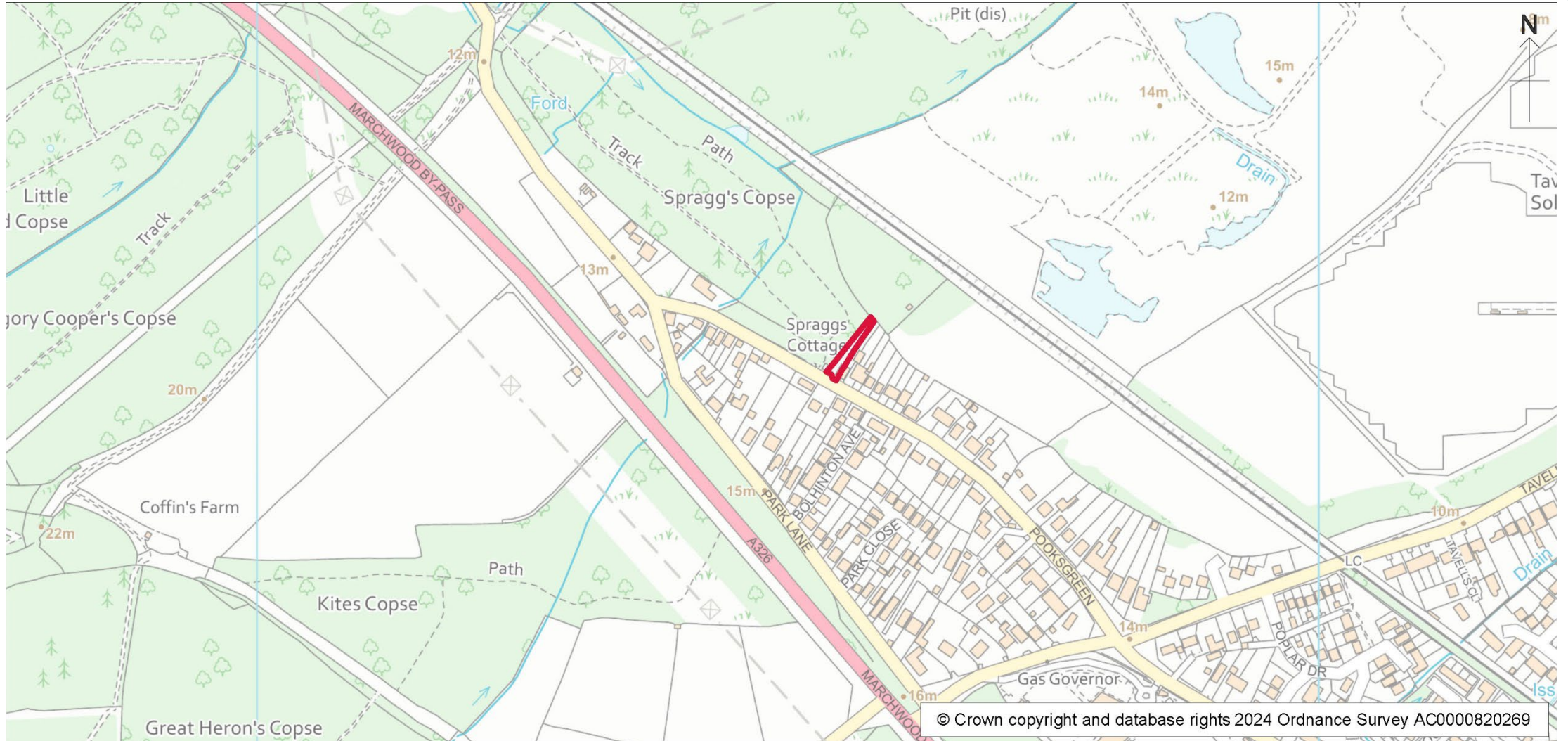
Schedule 3f

Red Line Plan



Local context

83



83

3f 23/11331

Aerial photograph



84

© Getmapping Plc and Bluesky International Limited 2024

84

3f 23/11331

Constraints



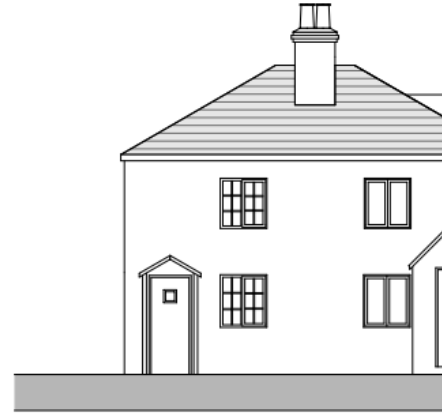
85



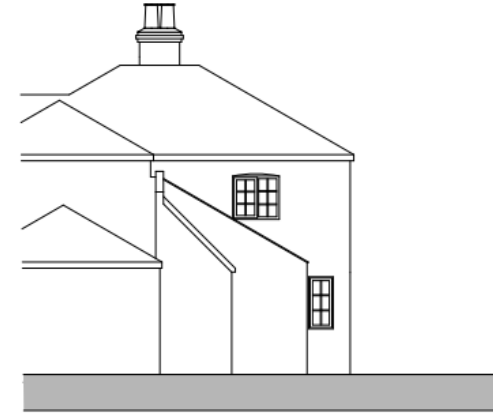
85

3f 23/11331

Existing elevations



Existing Front Elevation



Existing Rear Elevation

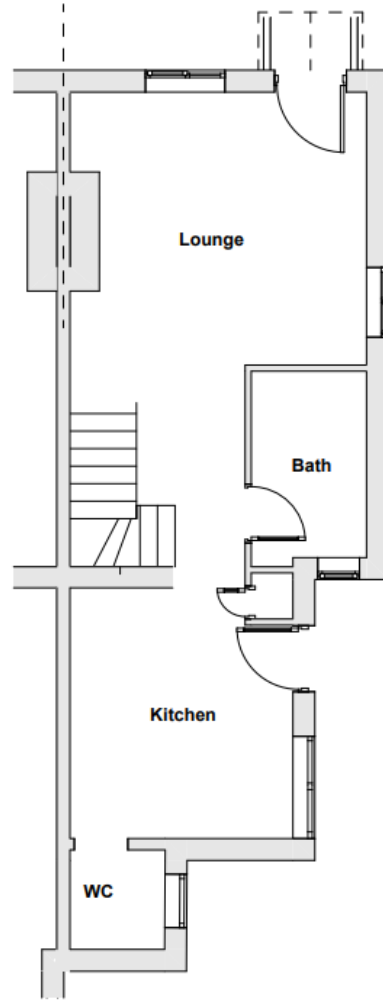


Existing Side Elevation

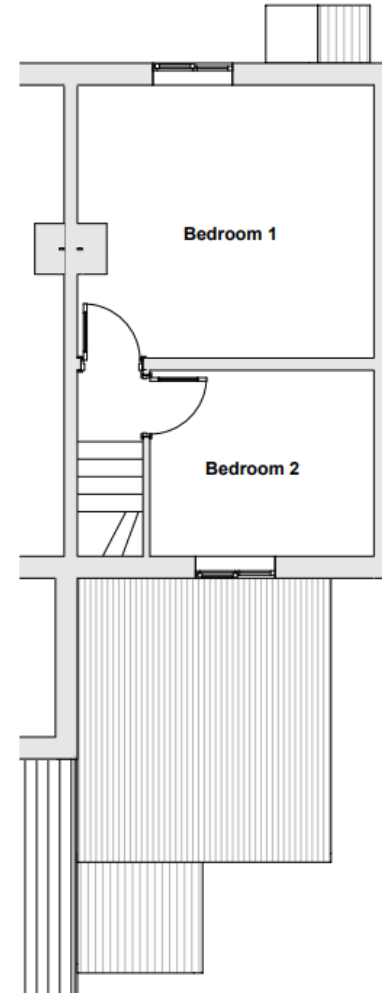
Existing floor plans



87

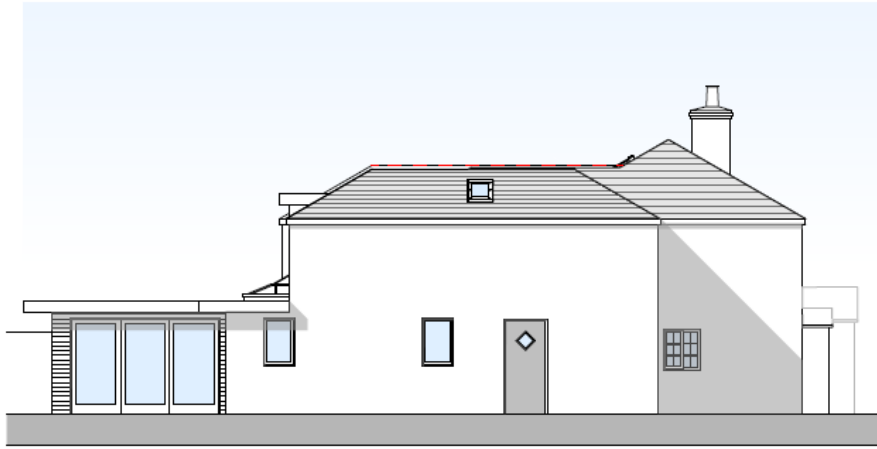


Existing Ground Floor Plan



Existing First Floor Plan

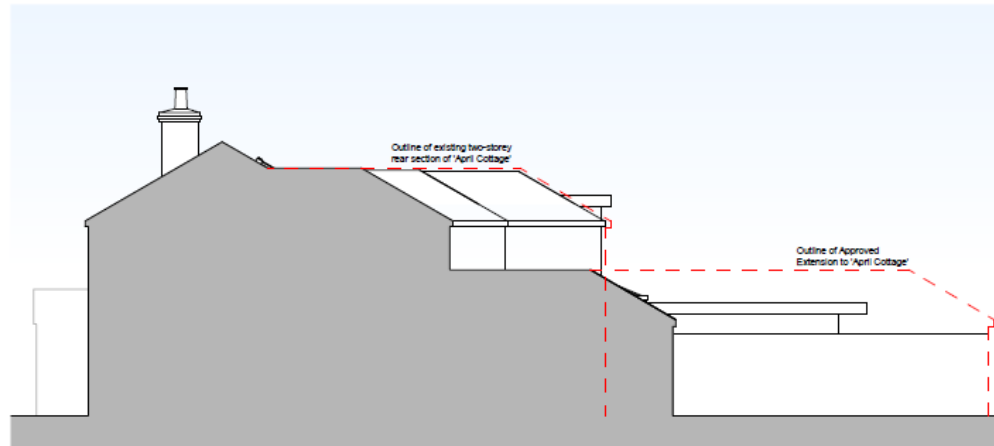
Proposed elevations



Proposed Side Elevation



Proposed Front Elevation

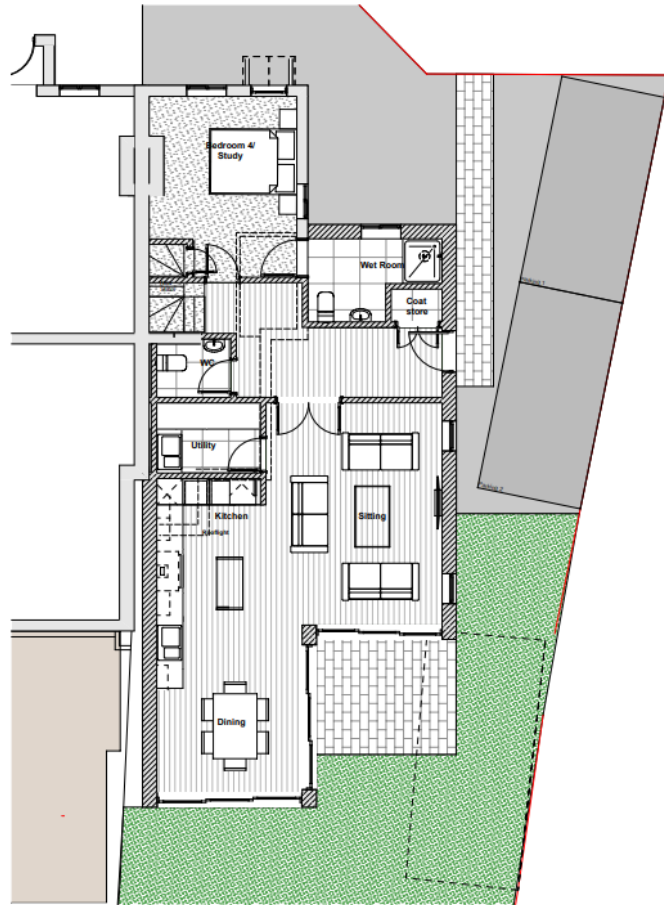


Proposed Side Elevation 2

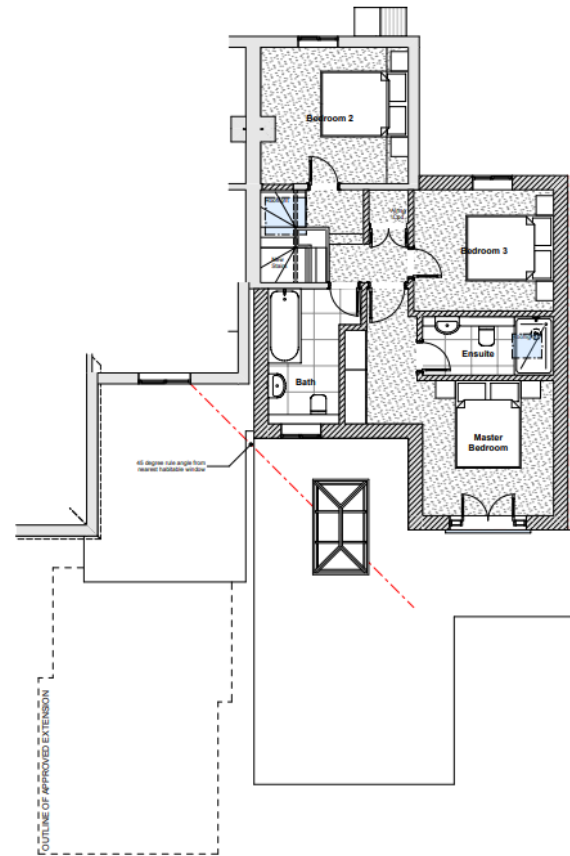


Proposed Rear Elevation

Proposed floor plans



Proposed Ground Floor Plan



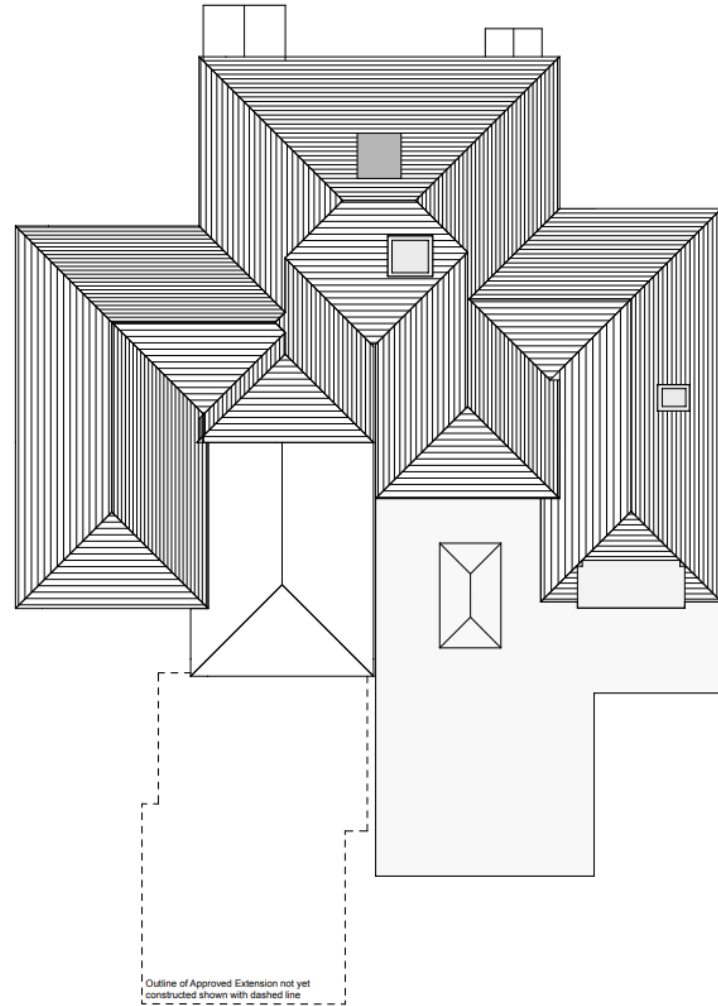
Proposed First Floor Plan



Proposed roof plan of pair of properties



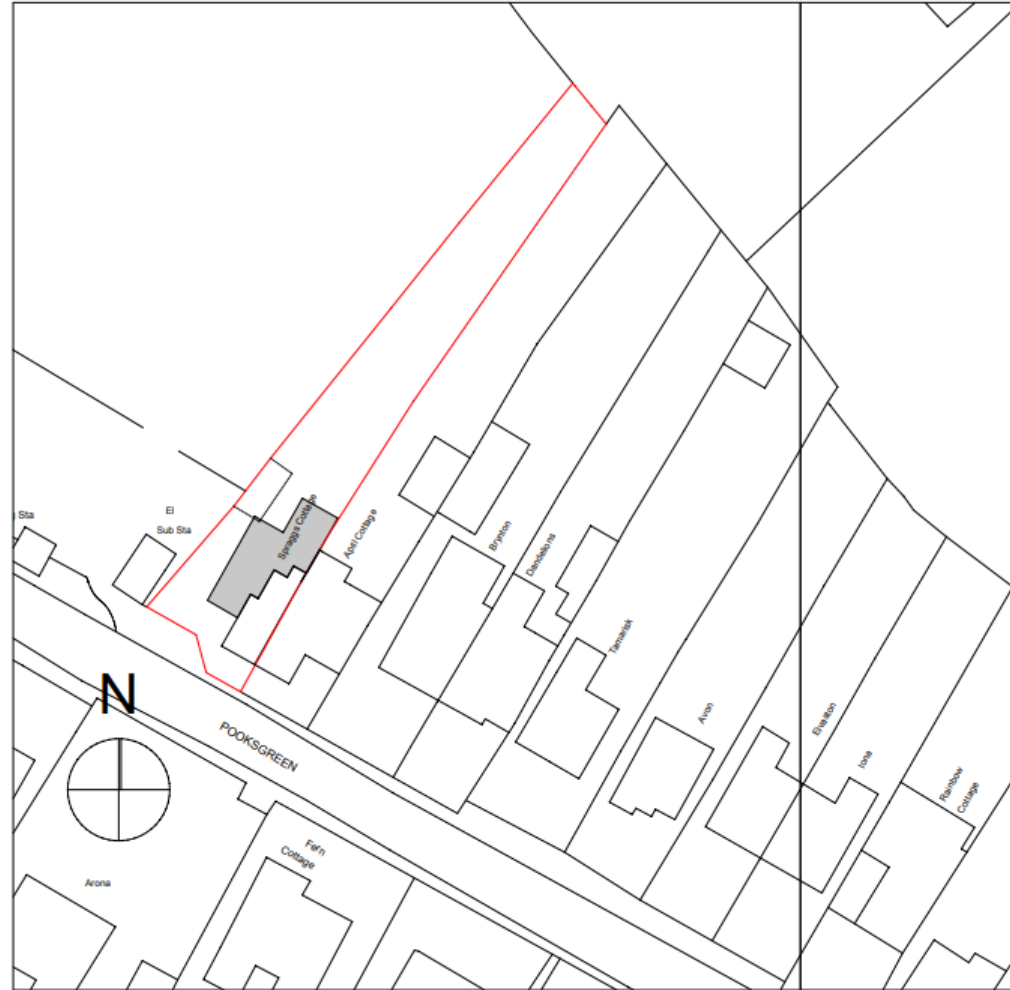
06



Proposed block plan



91



Proposed Block Plan - Scale 1:500



Photographs – front



92



Photographs – street scene



93

Photographs- side and rear



94



94

3f 23/11331

Photographs – front and rear of April Cottage



95



Photographs from April Cottage first floor window



96





Recommendation

Grant subject to conditions as follows:

- i. Materials to match existing
- ii. Tree Officer to visit to assess tree protection and construction in accordance with submitted tree report
- iii. Submission of lighting plan

End of 3f 23/11331 presentation



New Forest
DISTRICT COUNCIL

86



Planning Committee

App No 24/10709

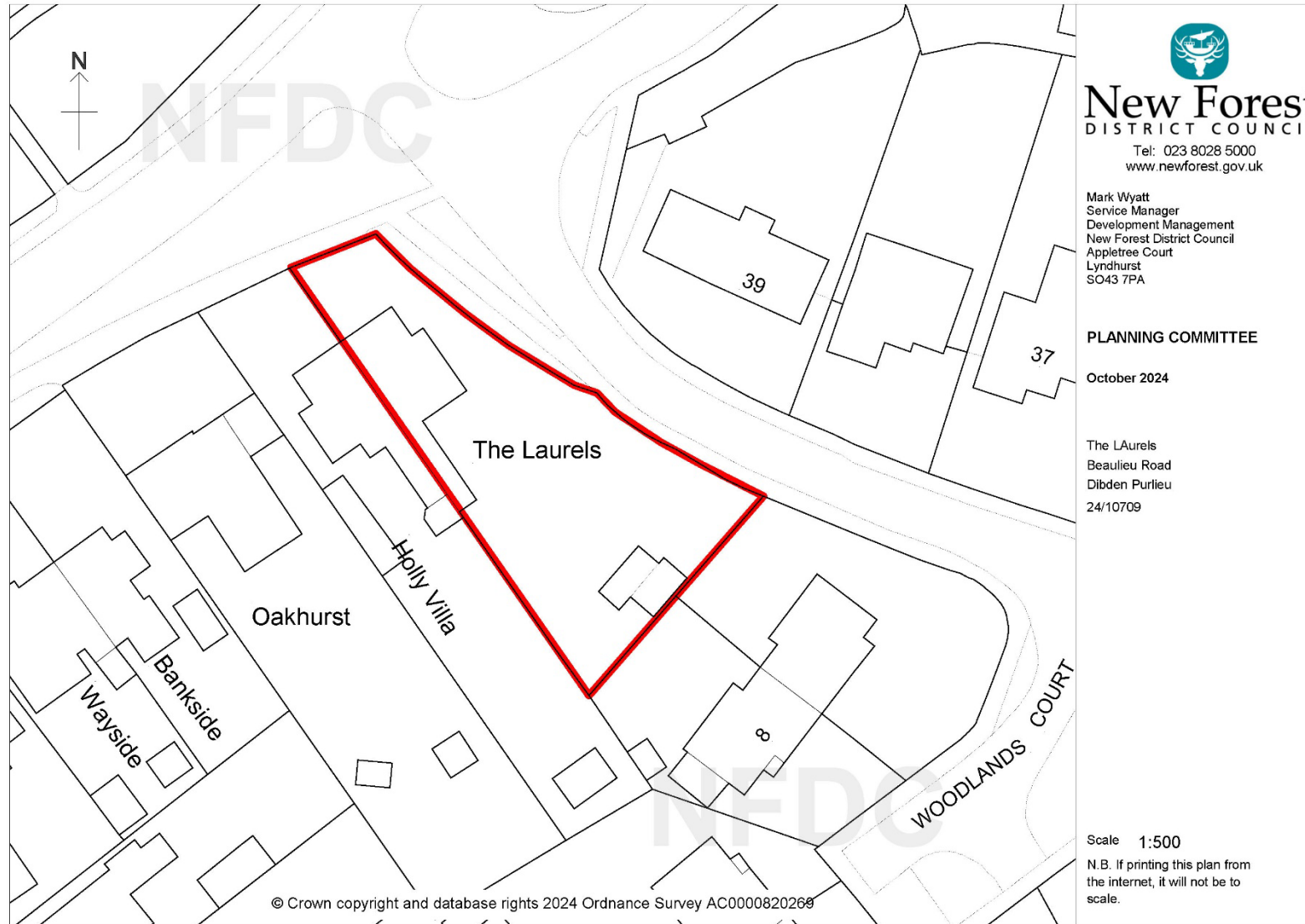
The Laurels

Beaulieu Road

Dibden Purlieu, Hythe

Schedule 3i

Red Line Plan



100

100

3g 24/10709

Local context

101



101

3g 24/10709

Aerial photograph



102

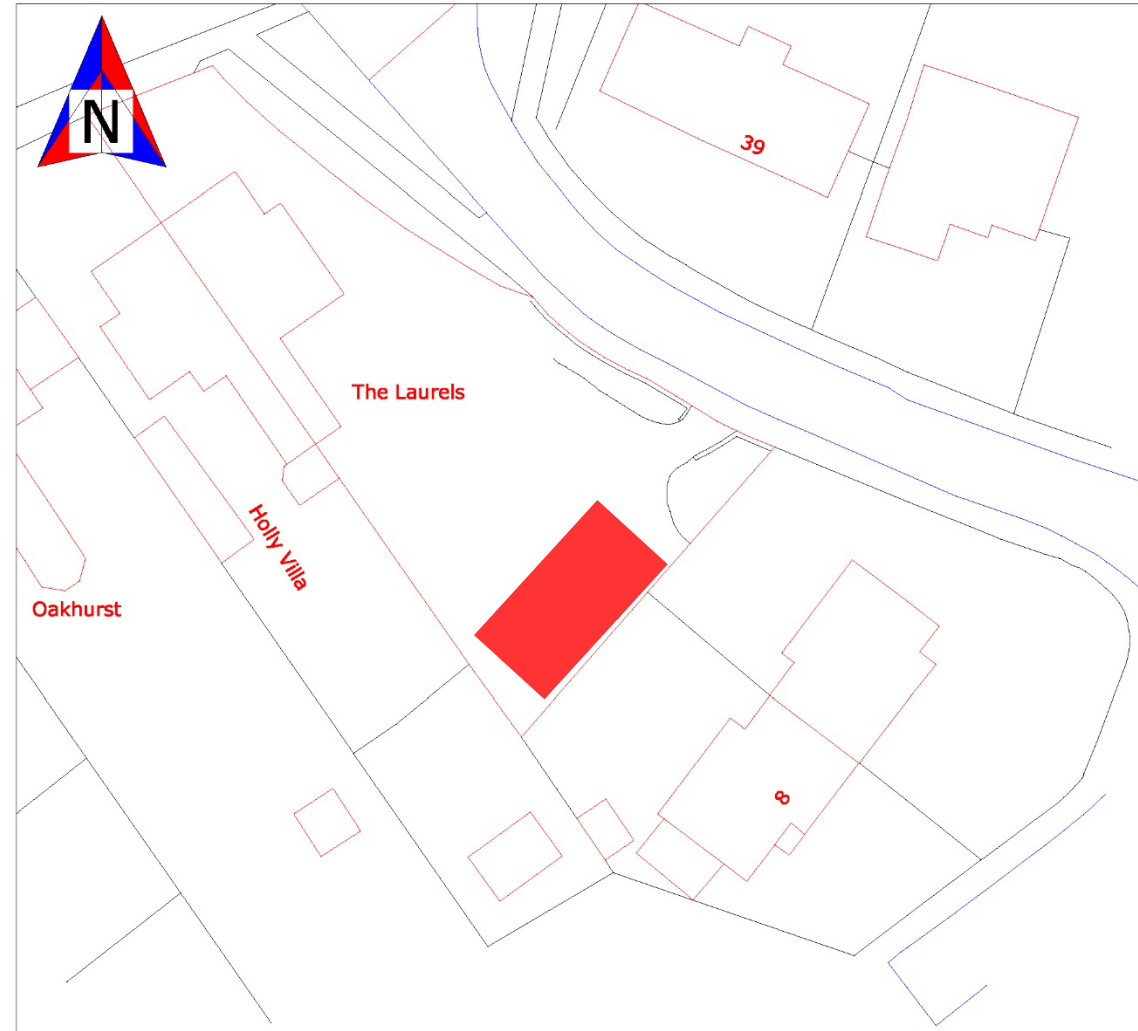
102

3g 24/10709

Proposed block plan



103



103

3g 24/10709

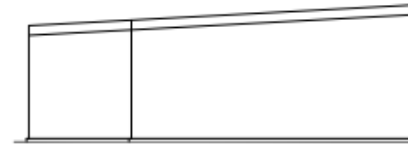
Existing and proposed elevations



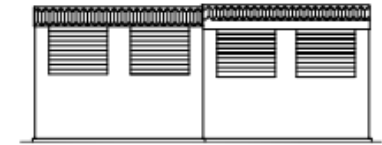
Existing North West Elevation



Existing North East Elevation

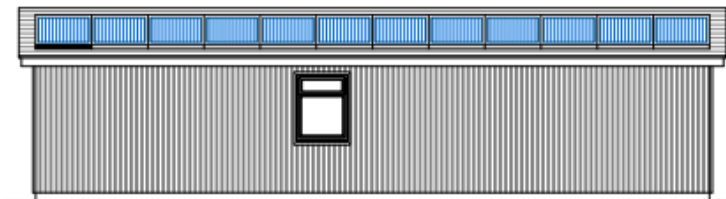


Existing South East Elevation

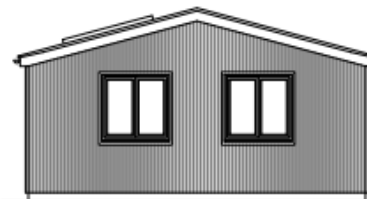


Existing South West Elevation

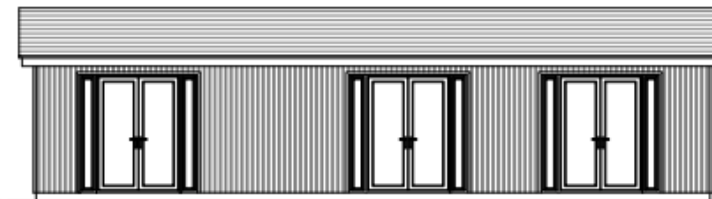
104



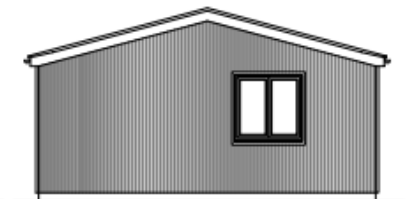
Proposed North West Elevation



Proposed North East Elevation



Proposed South East Elevation

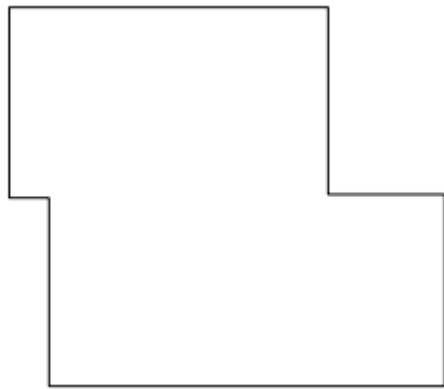


Proposed South West Elevation

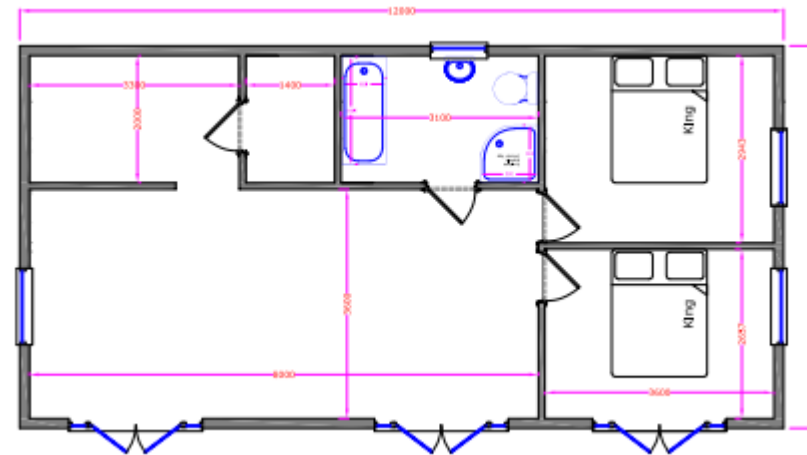
Existing and proposed floor plans



105



Existing floor plan



Proposed floor plan

Proposed floor plans



106



Photographs – front and side



107



107

3g 24/10709

Photographs – existing garages



108



Photographs- rear garden



109



109

3g 24/10709



Recommendation

- Grant subject to a condition in respect of the use of the annexe as ancillary accommodation as an extended family unit to the use of the single dwelling house

End of 3g 24/10709 presentation



New Forest

DISTRICT COUNCIL

111



This page is intentionally left blank